



## **MINUTES OF ORDINARY MEETING OF COUNCIL HELD ON 24 MAY 2011**

I hereby certify that the Minutes of the Ordinary Council Meeting held are a true and accurate record of the proceedings contained therein.

\_\_\_\_\_  
**Shire President Confirmed**

**Date:** \_\_\_\_\_

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**SHIRE OF WYNDAHM EAST KIMBERLEY**  
**MINUTES**  
**OF THE ORDINARY COUNCIL MEETING**  
**HELD ON TUESDAY, 24 MAY 2011 AT 6:00 PM.**

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**1. DECLARATION OF OPENING / ANNOUNCEMENT OF VISITORS**

The Shire President declared the meeting open at 6:02pm.

**2. RECORD OF ATTENDANCE**

Cr F Mills	Shire President
Cr J Moulden	Deputy Shire President
Cr D Ausburn	Councillor
Cr J McCoy	Councillor
Cr R Dessert	Councillor
Cr R Addis	Councillor
Cr J Parker	Councillor
Cr K Wright	Councillor
Cr K Torres	Councillor
G Gaffney	Chief Executive Officer
J Ellis	Director Corporate Services
K Apperley	Director Community Development
N Kearns	Director Planning Development
R Williams	Senior Projects Officer
J Takarangi	Economic Development Officer
J Ninyette	Town Planning Officer
F Kuiper	Executive Assistant (Minute Taker)

**PUBLIC GALLERY**

AJ Byrnes (6:21pm)

**APOLOGIES**

D Pettit	Planning Officer
J McGuinness	Governance Support Officer

**LEAVE OF ABSENCE (PREVIOUSLY APPROVED)**

Nil

**3. DECLARATION OF INTEREST**

- **Financial Interest**

Nil

- **Impartiality Interest**

Nil

- **Proximity Interest**

Cr D Ausburn declared a proximity interest in Item 15.8 Kununurra Speedway Request because her daughter is a member of the Kununurra Speedway Club.

**4. RESPONSE TO PREVIOUS PUBLIC QUESTIONS TAKEN ON NOTICE**

Nil

**5. PUBLIC QUESTION TIME**

Nil

**6. PETITIONS**

Nil

**7. APPLICATIONS FOR LEAVE OF ABSENCE**

**COUNCIL DECISION**

**Minute No. 9458**

**Moved: Cr D Ausburn**

**Seconded: Cr K Torres**

**That Council grant Cr K Wright and Cr J Parker a leave of absence for the Ordinary Meeting of Council 21 June 2011.**

**Carried Unanimously 9/0**

## **8. CONFIRMATION OF MINUTES**

### **8.1 CONFIRMATION OF MINUTES OF ORDINARY COUNCIL MEETING OF 19 APRIL 2011**

#### **RECOMMENDATION**

That Council confirms the Minutes of the Ordinary Council Meeting held on 19 April 2011.

#### **COUNCIL DECISION**

**Minute No. 9549**

**Moved: Cr D Ausburn  
Seconded: Cr K Wright**

**That Council confirms the Minutes of the Ordinary Council Meeting held on 19 April 2011.**

**Carried Unanimously 9/0**

## **9. ANNOUNCEMENTS BY THE PERSON PRESIDING WITHOUT DISCUSSION**

The Shire President advised that he had attended the following meetings and functions on behalf of Council:

- 18 April Census 2011 Strategy Information Forum
- 4-5 May Met with State Shadow Cabinet discussed issues relating to Govt and East Kimberley
- 6 May Discussions with Nichole Rooke - Office of Minerals and Energy
- 9 May Discussions and afternoon tea with Hon Mia Davies discussed local issues
- 12 May Meeting in Perth Minister Castrilli and Dept Local Govt (Whole of Government Workshop Presidents Mayors and CEOs from all LG in State)
- 15 May Attended Kimberley Moon Event (Short discussion with East Timor President Jose Ramos-Horta)
- 18 May Met with Ziggy Wilkes (Horizon Power) Deputy Pres and CEO
- 21 May Met with Minister Bill Marmion Discussed local issues Cr Moulden and CEO
- 22 May Presented prizes at SWEK Triathlon

**10. DEPUTATIONS / PRESENTATIONS / SUBMISSIONS**

Nil

**11. MINUTES OF COUNCIL COMMITTEE MEETINGS**

Nil

**12. REPORTS**

**12.1 MATTERS ARISING FROM COMMITTEES OF COUNCIL**

Nil

## 12.2 CORPORATE SERVICES

### 12.2.1 Monthly Report

<b>DATE:</b>	24 May 2011
<b>PROPONENT:</b>	Shire of Wyndham East Kimberley
<b>LOCATION:</b>	Shire of Wyndham East Kimberley
<b>AUTHOR:</b>	Gill Old, Manager Financial Services
<b>REPORTING OFFICER:</b>	Gill Old, Manager Financial Services
<b>FILE NO:</b>	FM.09.5
<b>ASSESSMENT NO:</b>	N/A

#### **PURPOSE**

For Council to note and accept the Monthly Financial Report for April 2011.

#### **BACKGROUND**

Council is required to prepare Monthly Financial Reports as required by the Local Government (Financial Management Regulations) 1996.

#### **STATUTORY IMPLICATIONS**

Section 6.4 Local Government Act 1995  
Regulation 34, Local Government (Financial Management Regulations) 1996.

#### **POLICY IMPLICATIONS**

No policy implications apply in the preparation of the report.

#### **FINANCIAL IMPLICATIONS**

Monthly financial reporting is a primary financial management and control process, it provides Council with the ability to oversee the Shire's financial performance against budgeted targets.

#### **STRATEGIC IMPLICATIONS**

Key Result Area 5 – Governance  
Council's financial position and forward planning is sound.

#### **COMMUNITY CONSULTATION**

No community consultation was required in the preparation of this report.

### **COMMENT**

Councils 2010/11 Budget was adopted on 10 August 2010. Budget review of 2010/2011 budget was adopted by Council on 19 April 2011.

Comments in relation to budget to actual variances are included as a note in the Financial Report.

### **ATTACHMENTS**

The Monthly Financial Report for April 2011 will be provided as a separate attachment.

### **VOTING REQUIREMENT**

Simple Majority

### **OFFICER'S RECOMMENDATION**

That Council accepts the Monthly Financial Report for the month of April 2011.

### **COUNCIL DECISION**

**Minute No. 9460**

**Moved: Cr K Wright**

**Seconded: Cr J Moulden**

**That Council accepts the Monthly Financial Report for the month of April 2011.**

**Carried Unanimously 9/0**

## 12.2.2 Differential Rates 2011/12

<b>DATE:</b>	24 May 2011
<b>PROPONENT:</b>	Shire of Wyndham East Kimberley
<b>LOCATION:</b>	Shire of Wyndham East Kimberley
<b>AUTHOR:</b>	Jo-Anne Ellis, Director Corporate Services
<b>REPORTING OFFICER:</b>	Jo-Anne Ellis, Director Corporate Services
<b>FILE NO:</b>	FM.11.2
<b>ASSESSMENT NO:</b>	N/A

### PURPOSE

To endorse and approve the advertisement of proposed Differential Rate in the Dollar and the Minimum Rates for 2011/12

### BACKGROUND

Before Council can impose differential rates in the dollar, Council must advertise the proposed differential rate for a minimum period of 21 days. The advertising period can occur up to two months prior to adoption of the Budget. This period of advertising allows rate payers the ability to consider the proposed rates in the dollar and make any submissions prior to Council adopting the proposed rate as part of the Budget adoption process.

Additionally, under the Local Government Act, Council must seek permission from the Minister of Local Government to raise the differential rate where the highest differential rate is more than twice the lowest differential rate.

Advertising rates in the dollar and minimums does not prohibit Council amending these rates or minimums at Budget Adoption following the period of public comment. The purpose of advertising is to give ratepayers the ability to comment and make a submission prior to the rates being imposed.

Generally the advertised and adopted rates are different due to interim rates and revaluations between time of advertising and adopting.

Council adopted a Strategic Rates Review Report in April 2010. This report details the legislative framework, current rating practices, principals of rating, alternate rating structures and recommendations for change.

The Strategic Rates Review Report identified that there was scope to increase the rates in the dollar for UV Mining and UV Pastoral when comparing the rate in the dollar raised by the Shire of Wyndham East Kimberley to neighbouring Councils.

Council also adopted a Strategic Rating Policy in April 2010. The policy identifies GRV and UV Differential Rates on the following basis:

- GRV Town site, properties in gazetted town sites.
- GRV Other, Discounted GRV rate for GRV rated properties outside gazetted town sites.
- UV Rural Residential, lifestyle property on a small rural holding with close proximity to an urban centre.
- UV Pastoral, properties under a pastoral lease valuation.
- UV Mining, Mining Tenements
- UV Other, UV properties that do not fit into category above, generally agriculture.

The policy includes transitional provisions for properties currently rated as UV Rural Agriculture 1 and UV Rural Agriculture 2 to transition these two rate codes to the same value and levy the rates as UV Other.

In 2010/11 a general increase of 5.5% was adopted to take into account the increase in the LGCI in the previous twelve months, the increase in wages costs and the need to keep ahead of rising costs generally. This general rate increase was adjusted in some rating categories to implement the Strategic Rating Policy.

- GRV Town Sites - increased by 5.5%.
- GRV Other - equal to the GRV Town Sites rate discounted to 80%.
- UV Pastoral and UV Mining - increased by 10%, this was greater than the general rate increase to progress the implementation of the Strategic Rates Review Report recommendations. (however in implementation, due to revaluations and some large interim rates being incorrectly included in the final rate calculation many pastoral rates decreased significantly)
- UV Rural Residential - 5.5% increase on the current rate code UV Rural Living.
- UV Rural Agriculture 2 – no change as this is the higher of the two Rural Agriculture rate in the dollars.
- UV Rural Agriculture 1 – 10% increase to commence transition to UV Other.
- UV Other – a rate half way between UV Rural Agriculture 1 and UV Rural Agriculture 2.
- Minimum rates increased by 5.5% rounded to \$830.00 for all except UV Mining that increased to \$1,100.00.

## **STATUTORY IMPLICATIONS**

### *Local Government Act 1995*

#### 6.33. Differential general rates

- (1) A local government may impose differential general rates according to any, or a combination, of the following characteristics —
  - (a) the purpose for which the land is zoned under a local planning scheme in force under the Planning and Development Act 2005;
  - (b) the predominant purpose for which the land is held or used as determined by the local government;
  - (c) whether or not the land is vacant land; or
  - (d) any other characteristic or combination of characteristics prescribed.

- (2) Regulations may —
  - (a) specify the characteristics under subsection (1) which a local government is to use; or
  - (b) limit the characteristics under subsection (1) which a local government is permitted to use.
- (3) In imposing a differential general rate a local government is not to, without the approval of the Minister, impose a differential general rate which is more than twice the lowest differential general rate imposed by it.
- (4) If during a financial year, the characteristics of any land which form the basis for the imposition of a differential general rate have changed, the local government is not to, on account of that change, amend the assessment of rates payable on that land in respect of that financial year but this subsection does not apply in any case where section 6.40(1)(a) applies.

#### 6.35. Minimum payment

- (1) Subject to this section, a local government may impose on any rateable land in its district a minimum payment which is greater than the general rate which would otherwise be payable on that land.
- (2) A minimum payment is to be a general minimum but, subject to subsection (3), a lesser minimum may be imposed in respect of any portion of the district.
- (3) In applying subsection (2) the local government is to ensure the general minimum is imposed on not less than —
  - (a) 50% of the total number of separately rated properties in the district; or
  - (b) 50% of the number of properties in each category referred to in subsection (6),
 on which a minimum payment is imposed.
- (4) A minimum payment is not to be imposed on more than the prescribed percentage of —
  - (a) the number of separately rated properties in the district; or
  - (b) the number of properties in each category referred to in subsection (6),
 unless the general minimum does not exceed the prescribed amount.
- (5) If a local government imposes a differential general rate on any land on the basis that the land is vacant land it may, with the approval of the Minister, impose a minimum payment in a manner that does not comply with subsections (2), (3) and (4) for that land.
- (6) For the purposes of this section a minimum payment is to be applied separately, in accordance with the principles set forth in subsections (2), (3) and (4) in respect of each of the following categories —
  - (a) to land rated on gross rental value;

- (b) to land rated on unimproved value; and
- (c) to each differential rating category where a differential general rate is imposed.

6.36. Local government to give notice of certain rates

- (1) Before imposing any differential general rates or a minimum payment applying to a differential rate category under section 6.35(6)(c) a local government is to give local public notice of its intention to do so.
- (2) A local government is required to ensure that a notice referred to in subsection (1) is published in sufficient time to allow compliance with the requirements specified in this section and section 6.2(1).
- (3) A notice referred to in subsection (1) —
  - (a) may be published within the period of 2 months preceding the commencement of the financial year to which the proposed rates are to apply on the basis of the local government's estimate of the budget deficiency;
  - (b) is to contain —
    - (i) details of each rate or minimum payment the local government intends to impose;
    - (ii) an invitation for submissions to be made by an elector or a ratepayer in respect of the proposed rate or minimum payment and any related matters within 21 days (or such longer period as is specified in the notice) of the notice; and
    - (iii) any further information in relation to the matters specified in subparagraphs (i) and (ii) which may be prescribed;
  - and
  - (c) is to advise electors and ratepayers of the time and place where a document describing the objects of, and reasons for, each proposed rate and minimum payment may be inspected.
- (4) The local government is required to consider any submissions received before imposing the proposed rate or minimum payment with or without modification.
- (5) Where a local government —
  - (a) in an emergency, proposes to impose a supplementary general rate or specified area rate under section 6.32(3)(a); or
  - (b) proposes to modify the proposed rates or minimum payments after considering any submissions under subsection (4),

it is not required to give local public notice of that proposed supplementary general rate, specified area rate, modified rate or minimum payment.

**POLICY IMPLICATIONS**

Council Policy F7 – Significant Accounting Policies  
 Council Policy – CP/FIN- 3200 - Strategic Rating Policy

## **FINANCIAL IMPLICATIONS**

Advice in recent years from the Western Australian Local Government Association (WALGA) has alerted Councils to the issue that CPI is a good measure of a household's ability to pay but is not a good measure of the increasing costs of a Local Government. The Local Government Cost Index is considered a more appropriate measure as it is a combination of CPI and the Construction Index.

Additionally the Systemic Sustainability Study commissioned by WALGA noted that some Local Governments are not increasing rates by a sufficient amount and this was causing issues with their ability to maintain ageing and deteriorating infrastructure.

The April 2011 WALGA Local Government Economic Brief projects the Local Government Cost Index to be 3.5 – 4.5 percent in 2011/12. The Wages Price Index is projected to be 5.0 – 5.5 percent.

## **STRATEGIC IMPLICATIONS**

Key Result Area 5 – Governance  
Goal 2 – Financial Management  
Strategy 2

## **COMMUNITY CONSULTATION**

The Public comment and submission process is designed to ensure consultation with the community and ratepayer base.

## **COMMENT**

Again in 2011/12 a general increase of 5.5% is recommended, adjusted in some rating categories to further implement the Strategic Rating Policy and to realign UV Pastoral Rates to 2009/10 values.

In 2009/10 total Pastoral Rates increased by 10% as per Council adoption however most individual UV Pastoral Rates decreased substantially due to the significant impact of the UV revaluations disguising the fact that 4 large interim rates had been entered into the system between the time the model was created for advertising rates in dollar and adjusting these rates for the UV revaluation. This was discussed in detail at the Council Briefing Session on 10 May 2011 and the consensus around the table was that a rate in the dollar increase of 20% was required to commence the return to pre 2010/11 rates values on individual assessments.

The discussion around Mining Rates at the 10 May 2011 Council Briefing Session gave officers direction that the Mining Rate in the dollar should increase from 9.1090 cents in dollar to 20.0000 cents in the dollar. This has been included in the rates modelling for this agenda item.

The rates in the dollar modelled and included in this agenda item are relevant to the rates database as at 5 May 2011. A UV revaluation will be loaded into the rating system prior to the issue of rates and this will impact on the rate in the dollar required to achieve the overall recommended rate increase. These rates in the dollar will be available for budget adoption.

Based on the rates database as at 5 May 2011 \$5,843,060 would be raised if the same rate in the dollar was used as adopted in 2010/11. This is \$247,014 more than the 2010/11 Rates Billing. This increase is due to the impact of interim rates during 2010/11 and represents the natural growth of our rates base through new properties, additions etc.

A general rate increase of 5.5% would have raised increased rates revenue of \$321,061 based on current valuations, over and above what would be raised if no increase in the rate in the dollar was imposed.

Implementation of the Strategic Rating Policy and adjustment of pastoral and mining rates with the following proposed rate in the dollar and minimum rate will increase rate revenue by \$624,547.10 based on current valuations, over and above what would be raised if no increase in the rate in the dollar was imposed.

### **Recommendation**

- GRV Town Sites - increase by 5.5%.
- GRV Other - equal to the GRV Town Sites rate discounted to 80%.
- UV Mining - increase to 20.000 cents in dollar, this is greater than the general rate increase to continue progress the implementation of the Strategic Rates Review Report recommendations.
- UV Pastoral – increase by 20%, due to impact of interim rates entered in 2010/11 prior to recalculation of rate in dollar.
- UV Rural Residential - increase by 5.5%.
- UV Rural Agriculture 1 – increase by 5.5%.
- UV Rural Agriculture 2 – 10% increase to transition to UV Other (1 July 2012).
- UV Other – increase by 5.5%.
- Minimum rates increase by 5.5% rounded to \$875.00 for all except UV Mining.
- UV Mining minimum rate increase by 5.5% rounded to \$1,160.00.

In prior years there has been one differential rating category that did not comply with section 6.35 of the Local Government Act, UV Mining had more than 50% of assessments that were minimum rated. With the increase in the rate in the dollar from 9.1090 cents in dollar to 20.0000 cents in the dollar this is no longer the case.

The following timeline applies to the Differential Rating for 2011/12:

- |   |                             |
|---|-----------------------------|
| • Briefing on Differential Rates                            | 10 May 2011                 |
| • Council endorsement of Differential Rates for Advertising | 24 May 2011                 |
| • Advertising of Differential Rates                         | 2 June 2011                 |
| • Submissions open (min 21 Days)                            | 2 June 2011 to 27 June 2011 |
| • Submissions close   | 27 June 2011                |
| • Budget Meeting – discuss any submissions received         | 28 June 2011                |
| • Letter to Minister seeking permission                     | 29 June 2011                |
| • Adoption of Differential Rates (Budget Adoption)          | 19 July 2011                |

### **ATTACHMENTS**

Nil

## **VOTING REQUIREMENT**

Simple Majority

## **OFFICER'S RECOMMENDATION**

1. That Council endorses and arranges to be advertised for 21 days the following proposed Rate in the Dollar and Minimum Rate for 2011/12

	<b>Cents in the \$</b>	<b>Min Rate \$</b>
GRV –Town sites	7.5116	875.00
GRV – Other	6.0093	875.00
UV - Rural Agricultural 1	0.5091	875.00
UV - Rural Agricultural 2	0.4753	875.00
UV - Rural Residential	0.7382	875.00
UV – Other	0.4826	875.00
UV - Pastoral	2.1959	875.00
UV – Mining	20.0000	1,160.00

2. That the Minister for Local Government's approval be sought for the imposing of differential rates which are more than twice the lowest differential general rate, in accordance with S6.33(3) of the Local Government Act, 1995.

## **COUNCIL DECISION**

**Minute No. 9461**

**Moved: Cr K Wright**

**Seconded: Cr D Ausburn**

1. That Council endorses and arranges to be advertised for 21 days the following proposed Rate in the Dollar and Minimum Rate for 2011/12

	<b>Cents in the \$</b>	<b>Min Rate \$</b>
<b>GRV –Town sites</b>	<b>7.5116</b>	<b>875.00</b>
<b>GRV – Other</b>	<b>6.0093</b>	<b>875.00</b>
<b>UV – Rural Agricultural 1</b>	<b>0.5091</b>	<b>875.00</b>
<b>UV – Rural Agricultural 2</b>	<b>0.4753</b>	<b>875.00</b>
<b>UV – Rural Residential</b>	<b>0.7382</b>	<b>875.00</b>
<b>UV – Other</b>	<b>0.4826</b>	<b>875.00</b>
<b>UV – Pastoral</b>	<b>2.1959</b>	<b>875.00</b>
<b>UV – Mining</b>	<b>20.0000</b>	<b>1,160.00</b>

2. That the Minister for Local Government's approval be sought for the imposing of differential rates which are more than twice the lowest differential general rate, in accordance with S6.33(3) of the Local Government Act, 1995.

**Carried Unanimously 9/0**

### 12.2.3 List of Accounts Paid Under Delegation 18

<b>DATE:</b>	24 May 2011
<b>PROPONENT:</b>	Shire of Wyndham East Kimberley
<b>LOCATION:</b>	Shire of Wyndham East Kimberley
<b>AUTHOR:</b>	Sandy Griffiths, Finance Officer Heather Winter, Senior Finance Officer
<b>REPORTING OFFICER:</b>	Jo-Anne Ellis, Director Corporate Services
<b>FILE NO:</b>	60.14.03
<b>ASSESSMENT NO:</b>	N/A

#### **PURPOSE**

To present the listing of accounts paid under delegated authority in accordance with the requirements of the Local Government (Financial Management) Regulations 1996.

#### **BACKGROUND**

Delegation 18 – Payment of Creditors was reviewed and adopted by Council on 16 June 2009.

This delegation gives authority to make payments from the Municipal Fund or Trust Fund to the Chief Executive Officer. There is a sub delegation to the Director Corporate Services, Manager Financial Services and Financial Officers.

#### **STATUTORY IMPLICATIONS**

Local Government Act 1995 – Section 5.42  
Local Government (Financial Management) Regulations 1996 – Regulations 12 and 13

#### **POLICY IMPLICATIONS**

Delegation 18 – Payment of Creditors

#### **FINANCIAL IMPLICATIONS**

Ongoing management of Council funds by providing Council with sufficient information to monitor and review payments made.

#### **STRATEGIC IMPLICATIONS**

Key Result Area 5 – Governance

Council's financial position and forward planning is sound.

#### **COMMUNITY CONSULTATION**

Not Applicable

**COMMENT**

In accordance with statutory requirements and delegated authority, each payment from the Municipal Fund or the Trust Fund is to be noted on a list compiled each month showing: the payee's name, amount of payment, date of payment and sufficient information to identify the transaction. The list is to be presented to Council at the next ordinary meeting of the Council following the preparation of the list and is to be recorded in the minutes of the meeting at which it is presented.

**ATTACHMENTS**

List of Accounts Paid Under Delegation 18

**VOTING REQUIREMENT**

Simple Majority

**MANAGERS' RECOMMENDATION**

That Council receives and accepts the listing of payments approved under Delegation 18 Payment of Creditors, being:

Municipal EFT111922 – EFT112089 (1 – 30 April 2011)	\$ 563,123.56
Municipal cheques 40244 - 40302 (1 – 30 April 2011)	\$ 1,269,984.84
Trust cheques 141 - 148 (1 – 30 April 2011)	\$ 4,970.00
Trust EFT 500065 (1 – 30 April 2011)	\$ 14,388.65
Payroll (1 – 30 April 2011)	\$ 373,702.70
Direct bank debits (1 – 30 April 2011)	\$ 44,082.50
<b>TOTAL</b>	<b>\$ 2,270,252.25</b>

**COUNCIL DECISION**

**Minute No. 9462**

**Moved: Cr D Ausburn  
Seconded: Cr J Parker**

**That Council receives and accepts the listing of payments approved under Delegation 18 Payment of Creditors, being:**

<b>Municipal EFT111922 – EFT112089 (1 – 30 April 2011)</b>	<b>\$ 563,123.56</b>
<b>Municipal cheques 40244 - 40302 (1 – 30 April 2011)</b>	<b>\$ 1,269,984.84</b>
<b>Trust cheques 141 - 148 (1 – 30 April 2011)</b>	<b>\$ 4,970.00</b>
<b>Trust EFT 500065 (1 – 30 April 2011)</b>	<b>\$ 14,388.65</b>
<b>Payroll (1 – 30 April 2011)</b>	<b>\$ 373,702.70</b>
<b>Direct bank debits (1 – 30 April 2011)</b>	<b>\$ 44,082.50</b>
<b>TOTAL</b>	<b>\$ 2,270,252.25</b>

**Carried Unanimously 9/0**

**LIST OF ACCOUNTS PAID UNDER DELEGATION 18**  
**List of Accounts Submitted to Council 16 May 2011**

<b>EFT</b>	<b>DATE</b>	<b>NAME</b>	<b>DESCRIPTION</b>	<b>AMOUNT</b>
EFT111922	1/04/2011	MARK MOODY	REIMBURSE TRAVEL AS PER AGREEMENT	333.47
EFT111923	7/04/2011	ALLCLEAN COMMERCIAL CLEANERS	CLEANING OF YOUTH CENTRE	1,604.00
EFT111924	7/04/2011	ATO CHILD SUPPORT AGENCY	PAYROLL DEDUCTIONS	2,108.59
EFT111925	7/04/2011	AUSTRALIAN SERVICES UNION	PAYROLL DEDUCTIONS	197.00
EFT111926	7/04/2011	AUSTSWIM LTD	TRAINING COURSE - AUSTSWIM TEACHER - 4 STAFF	1,220.00
EFT111927	7/04/2011	AVP COMMERCIAL POOLS	PROGRESS CLAIM #1 - WATER PLAY AREA WYNDHAM POOL	11,000.00
EFT111928	7/04/2011	ALLGEAR MOTORCYCLES & SMALL ENGINES	BRUSH CUTTER CORD, MOWER BLADES & RIDE ON MOWER BLADES	782.60
EFT111929	7/04/2011	ARGYLE MOTORS	SERVICE - P109 & P468, OIL FILTER - P485	630.15
EFT111930	7/04/2011	BOAB REFRIGERATION AND AIRCON	AIR CONDITIONER OUTSIDE UNIT - INFRASTRUCTURE DIRECTOR'S OFFICE	286.00
EFT111931	7/04/2011	BUSH CAMP SURPLUS STORES	HI-VIS WORK SHIRTS & WORK SHORTS	235.65
EFT111932	7/04/2011	BEAUREPAIRES FOR TYRES	PUNCTURE REPAIR - P469	30.25
EFT111933	7/04/2011	BOAB CARPENTRY PTY LTD	FENCING - WYNDHAM PICTURE GARDENS	9,216.82
EFT111934	7/04/2011	C & S JOLLY ELECTRICS PTY LTD	AUTO GATE, LIGHT TRANSFORMERS ON WIND SOCK - KNX AIRPORT & 29 BOOBIALLA	1,533.79
EFT111935	7/04/2011	CABCHARGE	CABCHARGE FOR POOL LIFEGUARD COURSE	461.84
EFT111936	7/04/2011	CAFE CORPORATE	COFFEE MACHINE SERVICE	286.77
EFT111937	7/04/2011	CENTURION TRANSPORT	FREIGHT - COFFEE MACHINE	51.12
EFT111938	7/04/2011	COURIER AUSTRALIA	FREIGHT - DPI TRANSPORT WYNDHAM	220.01
EFT111939	7/04/2011	CAMBRIDGE GULF CLEANING SERVICES	CLEANING OF VARIOUS LOCATIONS - WYNDHAM	1,212.75
EFT111940	7/04/2011	EAST KIMBERLEY PLUMBING	NEW CISTERNS STAFF TOILETS - KUNUNURRA AIRPORT MAINTENANCE DEPOT	363.15
EFT111941	7/04/2011	EAST KIMBERLEY HARDWARE	VARIOUS HARDWARE SUPPLIES	1,710.15
EFT111942	7/04/2011	GUERINONI & SON	SIDE TIPPER - FISH FARM, EGRET, PACKSADDLE, LILLY CREEK & KUNUNURRA TIP	20,130.00
EFT111943	7/04/2011	HART SPORT	TABLE TENNIS KIT - WYNDHAM YOUTH SERVICES	76.50
EFT111944	7/04/2011	HIDDEN VALLEY TOURIST PARK	ACCOMMODATION - 21/02/11 - 28/03/11	1,834.87
EFT111945	7/04/2011	HERTZ EAST KIMBERLEY HIRINGS	2 X TOYOTA HILUX 16/02/11 - 18/03/11	5,919.00
EFT111946	7/04/2011	JSW HOLDINGS PTY LTD	CONCRETE - FLAG POLES & WATER - KUNUNURRA TIP	536.80
EFT111947	7/04/2011	KIMBERLEY MARKETING	VENDING MACHINES SUPPLIES - KUNUNURRA AIRPORT	228.81

EFT111948	7/04/2011	KIMBERLEY WASTE SERVICES	TOWN TIDY & STREET SWEEPING - FEBRUARY - TENDER 07 08/09	26,895.58
EFT111949	7/04/2011	KUNUNURRA BETTA ELECTRICAL & GAS	DRINKING WATER PURIFIER & COOLER - KUNUNURRA LEISURE CENTRE	329.00
EFT111950	7/04/2011	KUNUNURRA HOME & GARDEN	ADHESIVE ALL FIX GLUE - KUNUNURRA LEISURE CENTRE	26.00
EFT111951	7/04/2011	KUNUNURRA MEDICAL	DRUG AND ALCOHOL SCREENING - KUNUNURRA AIRPORT	275.00
EFT111952	7/04/2011	KUNUNURRA PANEL BEATING WORKS WA	RELOCATE ABANDONED VEHICLE TO SHIRE DEPOT	330.00
EFT111953	7/04/2011	KUNUNURRA REFRIGERATION & AIR CON	REPAIR WYN ADMIN, KNX SQUASH COURTS, SERVICE KNX AIRPORT	1,325.50
EFT111954	7/04/2011	KUNUNURRA SECURITY SERVICE	PASSENGER & CBS SCREENING - KUNUNURRA AIRPORT	20,443.20
EFT111955	7/04/2011	KUNUNURRA POOLS & SPAS	TEST SOLUTION, WISHBONES, STAIN ERASER & TELESCOPIC POLE - KNX SWIM POOL	90.30
EFT111956	7/04/2011	L.G.R.C.E.U	PAYROLL DEDUCTIONS	17.40
EFT111957	7/04/2011	LANDGATE	GROSS RENTAL & MINING TENEMENT VALUATIONS	1,176.89
EFT111958	7/04/2011	LANGFORD MACHINERY PTY LTD	DAMAGED HYDRAULIC HOSE COUPLINGS & STEERING RAM - P355	966.00
EFT111959	7/04/2011	MERCURE INN BROOME	ACCOMMODATION - ZONE MEETING 03/02/11 - 05/02/11	521.00
EFT111960	7/04/2011	MAXXIA	PAYROLL DEDUCTIONS	3,488.94
EFT111961	7/04/2011	OFFICE NATIONAL KUNUNURRA	PRINTER CARTRIDGE & VARIOUS STATIONERY ITEMS	211.69
EFT111962	7/04/2011	ORDCO	FERTILISER - KONKERBERRY GARDENS	49.50
EFT111963	7/04/2011	ORIA ORCHARDS	WEEKLY FLOWER DELIVERY - KUNUNURRA OFFICE	15.00
EFT111964	7/04/2011	OUR COMMUNITY PTY LTD	SUBSCRIPTION - EASY GRANTS NEWSLETTER & GRANTS EDUCATION SERVICE	330.00
EFT111965	7/04/2011	ROYAL LIFE SAVING (WA BRANCH)	SAFE POOL OPERATORS COURSE - 2 x STAFF	960.00
EFT111966	7/04/2011	SETON AUSTRALIA PTY LTD	CUSTOM SIGN - SLIDE RULES - KUNUNURRA SWIMMING POOL	93.40
EFT111967	7/04/2011	SHAWS DARWIN TRANSPORT	VARIOUS FREIGHT CHARGES	153.20
EFT111968	7/04/2011	SHIRE OF WYNDHAM EAST KIMBERLEY	PAYROLL DEDUCTIONS	1,045.00
EFT111969	7/04/2011	SPORTSPEOPLE	POSITION ADVERTISING 14 FEB 2011- KUNUNURRA LEISURE CENTRE CO-COORDINATOR	242.00
EFT111970	7/04/2011	ST JOHN AMBULANCE	RESTOCK FIRST AID KITS - KUNUNURRA LEISURE CENTRE	159.23
EFT111971	7/04/2011	THE KIMBERLEY GRANDE	SPONSORSHIP MORNING TEA - BUILDING CONFERENCE AUSTRALIA 29/03/11	250.00
EFT111972	7/04/2011	UHY HAINES NORTON (WA) PTY LTD	REGISTRATION FINANCIAL REPORTING & MANAGEMENT WORKSHOP PERTH - 2 X STAFF	2,640.00
EFT111973	7/04/2011	VANDERFIELD MACHINERY PTY LTD	NEW BEAMS, BLADES & FASTENERS - P435 & CUTTING BLADES - P481	822.09
EFT111974	7/04/2011	WA LOCAL GOVERNMENT SUPER	SUPERANNUATION CONTRIBUTIONS	25,576.56

EFT111975	7/04/2011	WYNDHAM EXCAVATIONS	LOADER TO PUSH & SHEET - WYNDHAM LANDFILL SITE - MARCH 2011	3,960.00
EFT111976	7/04/2011	WYNDHAM EARLY LEARNING ACTIVITY	QUICK GRANT - END OF YEAR CELEBRATION FOR WELA PROGRAM	550.00
EFT111977	19/04/2011	AERODROME MANAGEMENT SERVICES	ANNUAL TECHNICAL INSPECTION INCL ACCOM & TRAVEL - KNX & WYNDHAM AIRPORT	10,368.00
EFT111978	19/04/2011	ALLCLEAN COMMERCIAL CLEANERS	CLEAN KITCHEN - KUNUNURRA YOUTH CENTRE AFTER BREAK-IN 04/01/11	220.00
EFT111979	19/04/2011	APPERLEY, KARYN	10/11 ANNUAL AIRFARE ALLOWANCE	2,600.00
EFT111980	19/04/2011	AUSFUEL AFD	FUEL - MARCH 2011	899.50
EFT111981	19/04/2011	AUSTRALIA POST	REAMS OF PAPER & MONTHLY POSTAGE	2,982.88
EFT111982	19/04/2011	AUSTRALIAN TAXATION OFFICE	BAS - MARCH 2011	49,227.00
EFT111983	19/04/2011	ALLGEAR MOTORCYCLES	SPOOLS - WHIPPER SNIPERS & FILES - CHAINSAWS	90.00
EFT111984	19/04/2011	ARGYLE MOTORS	SEAL KIT & DUST COVERS - P355, FLASHER ASSEMBLY - P313 & SERVICE - P211	1,130.91
EFT111985	19/04/2011	B VISUAL MEDIA	3 PORTRAIT SITTINGS - 1 X COUNCILLOR & 2 X DIRECTORS	99.00
EFT111986	19/04/2011	BODAN CONSTRUCTIONS PTY LTD	TROPICAL ROOF STRUCTURE CARETAKERS UNIT - WYN DEPOT - PROGRESS CLAIM NO. 1	13,276.00
EFT111987	19/04/2011	BUSH CAMP SURPLUS STORES	SAFETY BOOTS	242.90
EFT111988	19/04/2011	BEAUREPAIRES FOR TYRES	TYRE REPAIR - P362	25.00
EFT111989	19/04/2011	BOAB CARPENTRY PTY LTD	WINDOW - BREAK-IN - WYNDHAM RECREATION CENTRE	426.80
EFT111990	19/04/2011	CR FRED MILLS	REIMBURSE MEAL - KIMBERLEY ZONE	50.00
EFT111991	19/04/2011	CAFE SANDALWOOD	BBQ BOAT CATERING 35 PAX - AIRPORT CONFERENCE 19/04/11	1,050.00
EFT111992	19/04/2011	CAMBRIDGE GULF CLEANING SERVICES	CLEANING OF VARIOUS LOCATIONS - WYNDHAM	3,044.25
EFT111993	19/04/2011	CRE8TIVE DESIGN & DRAFTING	DESIGN & QUANTITY SURVEY - WEABER PLAINS FESA BUSH FIRE SHED	3,024.00
EFT111994	19/04/2011	DIMENSION DATA LEARNING SOLUTIONS	MICROSOFT 50331: WINDOWS 7, ENTERPRISE DESKTOP TRAINING 04/04/11 - 08/04/11	3,740.00
EFT111995	19/04/2011	DAVID GRIMSHAW	REIMBURSE MEALS - SAFE POOL OPERATORS COURSE	194.45
EFT111996	19/04/2011	DIANNE CHALLEN	REIMBURSEMENT OF FLIGHT - ATTEND STATE LIBRARY TRAINING	228.86
EFT111997	19/04/2011	DON MULLINS	REIMBURSEMENT OF PRIVATE SATELLITE PHONE USED - WARMUN EVACUATIONS	105.75
EFT111998	19/04/2011	DRIVECHECK	SERVICE & RECALIBRATION BREATHERLIZER - KUNUNURRA AIRPORT	110.00
EFT111999	19/04/2011	EAST KIMBERLEY MARINE	2 X OUTBOARD MOTORS & INSTALLATION - SES	25,697.98
EFT112000	19/04/2011	EAST KIMBERLEY HARDWARE	HAMMER DRILL, RIVET GUN, CONCRETE SCREED, POLE FOOTINGS, GAS, MISC ITEMS	2,686.50

EFT112001	19/04/2011	EAST KIMBERLEY REAL ESTATE	WATER USAGE 7/1/11 - 30/3/11 - 2/1 PLUM COURT	18.25
EFT112002	19/04/2011	FARMERS FRUIT & VEG MART	CATERING - STAFF WHO HELPED WITH WARMUN EVACUATION	110.00
EFT112003	19/04/2011	FRONTIER POST & NEWS	POSTAGE & PAPERS - MARCH 2011	19.95
EFT112004	19/04/2011	FUJI XEROX AUSTRALIA P/L	VARIOUS PRINTING CHARGES	2,129.67
EFT112005	19/04/2011	FULLY JUICED ELECTRICS	FAULTY LIGHT SENSOR - WYNDHAM ADMIN	212.85
EFT112006	19/04/2011	GHD PTY LTD	D2 GAUGING STATION PROFESSIONAL SERVICES & M1 CHANNEL SIPHON REDESIGN	7,874.35
EFT112007	19/04/2011	GULLIVERS TAVERN	CATERING - COUNCIL MEETING	500.00
EFT112008	19/04/2011	GEMECOM	DESTINY LIBRARY MANAGER ANNUAL SUBSCRIPTION RENEWAL 31/5/11 - 31/5/12	1,295.00
EFT112009	19/04/2011	HAMILTON SOFTWARE & TRAINING	KINDY MANAGER ANNUAL SUPPORT 01/04/11 - 31/03/12	550.00
EFT112010	19/04/2011	HB BLOCKS & PAVERS	PAVERS - WHITEGUM PARK RE-DEVELOPMENT	14,077.18
EFT112011	19/04/2011	HERTZ EAST KIMBERLEY HIRINGS	VEHICLE HIRE 24/02/11 - 08/03/11	1,282.45
EFT112012	19/04/2011	IBAC PLUMBING PTY LTD	NEW BATH TAPS-67 KOOJARRA ST, TOILET PIPES-SWIM BCH & TOILET-3 EUCALYPTUS	1,150.57
EFT112013	19/04/2011	IMAGE PRINTING	3000 X WINDOW ENVELOPES - KUNUNURRA ADMIN	429.00
EFT112014	19/04/2011	IT VISION ITV	IT VISION - WEBINAR BUDGETS 15/03/2011	242.00
EFT112015	19/04/2011	IDEAL SYSTEMS (WA) PTY LTD	LADDER - KUNUNURRA TIP	1,494.90
EFT112016	19/04/2011	IRRIBIZ	SPRINKLER RISERS, ELBOWS, VALVES, COUPLINGS - WHITEGUM PK UPGRADE	13,461.21
EFT112017	19/04/2011	JASON SIGNMAKERS LTD	DAMAGED DOUBLE SIDED SIGN - KIMBERLEY CROC BACKPACKERS YHA	198.00
EFT112018	19/04/2011	JH COMPUTER SERVICES	PRINTER CARTRIDGES - FINANCE & GOVERNANCE PRINTERS	2,882.97
EFT112019	19/04/2011	JORRITSMA H & CO	JUMPER VALVE - KUNUNURRA TIP	6.00
EFT112020	19/04/2011	JSW HOLDINGS PTY LTD	AGGREGATE - KOOLAMA, REGINALD, DULVERTON & DENMAN STREETS	1,188.00
EFT112021	19/04/2011	JANET TAKARANGI	REIMBURSE MEALS - REMOTE COMMUNITIES & ZONE MEETING 21/03/11 - 25/03/11	88.00
EFT112022	19/04/2011	KIMBERLEY ECHOALBANY ADVERTISER	VARIOUS ADVERTISING	2,366.22
EFT112023	19/04/2011	KIMBERLEY WASTE SERVICES	BULK BIN EMPTY 29/01/11 - 14/02/11 - KUNUNURRA TIP	4,106.00
EFT112024	19/04/2011	KUNUNURRA BETTA ELECTRICAL & GAS	NEW DELO COFFEE MACHINE - KUNUNURRA YOUTH CENTRE	508.00
EFT112025	19/04/2011	KUNUNURRA HOME & GARDEN	VARIOUS HARDWARE ITEMS	24.20
EFT112026	19/04/2011	KUNUNURRA LOCK & KEY	DEADBOLT LOCKS FITTED TO DOORS ACCESSING KITCHEN AREA - KNX YOUTH CENTRE	549.00
EFT112027	19/04/2011	KUNUNURRA REFRIGERATION & AIR CON	A/C LEAKING - WYN REC CENTRE, AND 67 KOOJARRA ST & SERVICE A/C - KNX AIRPORT	1,221.00

EFT112028	19/04/2011	KUNUNURRA RURAL TRADERS	ANNUAL SERVICING VARIOUS FIRE EXTINGUISHERS	647.94
EFT112029	19/04/2011	KUNUNURRA SECURITY SERVICE	PASSENGER & CBS SCREENING - KUNUNURRA AIRPORT 16/03/11 - 22/03/11	20,650.00
EFT112030	19/04/2011	KIMBERLEY MOBILE DIESELS	FAULTY BATTERY & FUEL PROBLEM - P474	209.00
EFT112031	19/04/2011	KRIS CURROW CONSULTING	CONSULTANCY SERVICES 03/03/11 - 22/03/11	2,385.00
EFT112032	19/04/2011	KUNUNURRA COMMERCIAL BODY WORKS	EXCESS ON INSURANCE CLAIM #22823 - P475	300.00
EFT112033	19/04/2011	LANDGATE	GROSS RENTAL VALUATIONS & MINING TENEMENTS	425.48
EFT112034	19/04/2011	LGIS INSURANCE BROKING	MARINE CARGO TRANSIT INSURANCE - CATERPILLAR LOADER	715.00
EFT112035	19/04/2011	LGIS WORKCARE	WORKERS COMP INSURANCE ADJUSTMENT 30/06/09 - 30/06/10	20,130.00
EFT112036	19/04/2011	LW PROPERTY CARE	CLEANING SWIM BEACH BBQ'S - FEBRUARY & MARCH 2011	1,056.00
EFT112037	19/04/2011	MEAGAN LE RICHE	REIMBURSE LONG TERM PARKING BROOME AIRPORT - KIMBERLEY ZONE	22.00
EFT112038	19/04/2011	METALAND KUNUNURRA	PURLINS & GALVANIZED STRIPS STEEL - WHITEGUM PARK RE-DEVELOPMENT	1,260.71
EFT112039	19/04/2011	NICK KEARNS	ANNUAL TRAVEL ALLOWANCE 10/11	2,600.00
EFT112040	19/04/2011	OFFICE NATIONAL KUNUNURRA	MAGNETIC WHITEBOARD - KNX ADMIN & PRINTER CARTRIDGES - KUNUNURRA AIRPORT	423.40
EFT112041	19/04/2011	ORIA ORCHARDS	WEEKLY FLOWER DELIVERY - KUNUNURRA OFFICE	15.00
EFT112042	19/04/2011	OLLIE'S IRRIGATIONS	VARIOUS RETICULATION ITEMS	317.87
EFT112043	19/04/2011	ORD FUEL SUPPLIES	DIESEL - KUNUNURRA SHIRE DEPOT	11,425.70
EFT112044	19/04/2011	PACIFIC BIOLOGICS	CO2 CANISTERS - MOSQUITO TRAPPING	746.41
EFT112045	19/04/2011	RICK SPRY	REIMBURSE PHONE - APRIL 2011	34.46
EFT112046	19/04/2011	RNR CONTRACTING	EMULSION - KOOLAMA, CASUARINA & IRONWOOD ROADS	3,234.00
EFT112047	19/04/2011	RED RUST CONTRACTING PTY LTD	NEW GUTTERING ON SHED & GUTTERING TO WATER TANK-KUNUNURRA LANDFILL SITE	4,587.00
EFT112048	19/04/2011	SALERNO LAW	PROFESSIONAL FEES - EXECUTE LEASE AGREEMENTS CAR FRANCHISE HIRE COMPANIES	2,255.00
EFT112049	19/04/2011	SEARLES MECHANICAL REPAIRS	COOLANT - POWER HOUSE GEN SET - WYNDHAM AIRPORT	58.20
EFT112050	19/04/2011	SHEARWATER MANUFACTURING PTY LTD	DEPOSIT RAM CAN BAILER - KUNUNURRA TIP RECYCLING	10,098.00
EFT112051	19/04/2011	STREET FURNITURE AUSTRALIA	BIKE STATION, MALL BENCH, FOUNTAIN - WHITEGUM PARK RE-DEVELOPMENT	7,568.00
EFT112052	19/04/2011	TELFORD INDUSTRIES	PALINTEST COMPARATOR DISC CHLORINE - KUNUNURRA SWIMMING POOL	302.59
EFT112053	19/04/2011	THORLEY'S STORE	VOUCHER PRIZES - GIRLS DISCO - WYNDHAM YOUTH SERVICES	75.00
EFT112054	19/04/2011	TNT AUSTRALIA PTY LIMITED	FREIGHT - WATER SAMPLING	135.85

EFT112055	19/04/2011	TOLL EXPRESS	VARIOUS FREIGHT CHARGES	275.61
EFT112056	19/04/2011	TRAVELWORLD KUNUNURRA	FLIGHTS KNX - MELBOURNE VIA DARWIN - YOUTH EMPOWERMENT PROGRAM 2011	6,710.00
EFT112057	19/04/2011	TROPICAL PEST CONTROL	LABOUR - MOSQUITO FOGGER	110.00
EFT112058	19/04/2011	TODD NORWELL	REIMBURSE " F" CLASS BUS LICENCE	157.00
EFT112059	19/04/2011	TYREPLUS KUNUNURRA	1 X NEW TYRE & 1 X REPAIR - P104	347.00
EFT112060	19/04/2011	WA LOCAL GOVERNMENT ASSOCIATION	MARKET FORCE ADVERTISING - FEBRUARY 2011	7.12
EFT112061	19/04/2011	WESTPARK SERVICES PTY LTD	150 DOUBLE REBATED BOLLARDS - SWIM BEACH & VICTORIA HIGHWAY	5,830.00
EFT112062	19/04/2011	WHELANS	FEATURE SURVEY - CATO COURT WYNDHAM	2,420.00
EFT112063	19/04/2011	WILD MANGO	CATERING YOUTH PROVIDERS NETWORK PLANNING MEETING	286.00
EFT112064	20/04/2011	AMANTZ ENTERPRISES PTY LTD	FORM POUR & FINISH FOOTPATH & TOILET PAD - WHITEGUM PARK RE-DEVELOPMENT	11,000.00
EFT112065	20/04/2011	MAXXIA	PAYROLL DEDUCTIONS	5,435.36
EFT112066	28/04/2011	ALLCLEAN COMMERCIAL CLEANERS	CLEANING OF VARIOUS LOCATIONS - KUNUNURRA MARCH 2011	17,940.00
EFT112067	28/04/2011	ATO CHILD SUPPORT AGENCY	PAYROLL DEDUCTIONS	564.73
EFT112068	28/04/2011	AUSTRALIAN SERVICES UNION	PAYROLL DEDUCTIONS	216.70
EFT112069	28/04/2011	BODAN CONSTRUCTIONS PTY LTD	PARQUETRY FLOOR, TILE SECTIONS & DOUBLE ENTRY DOOR - PETER REID MEM. HALL	590.00
EFT112070	28/04/2011	BRETT ENDERSBY	REFUND BUILDING LICENCE - PAID TWICE	300.00
EFT112071	28/04/2011	CARPET, VINYL & TILE CENTRE	NEW ACOUSTIC WALL TILES - MEETING ROOM - KUNUNURRA YOUTH CENTRE	2,200.00
EFT112072	28/04/2011	CLASSIC FORM DOORS	SAND FLOORS, COURT LINE MARKING & PATCHING/PAINTING - KNX SQUASH COURTS	21,450.00
EFT112073	28/04/2011	DANIEL COX	WATER SUBSIDY 24/11/10 - 23/03/11	46.20
EFT112074	28/04/2011	DUANE STACE	ELECTRICITY SUBSIDY 16/10/10 - 30/11/10	788.17
EFT112075	28/04/2011	EAST KIMBERLEY HARDWARE	200 X BAGS CONCRETE & POST HOLE SHOVEL	3,454.50
EFT112076	28/04/2011	FUJI XEROX AUSTRALIA P/L	VARIOUS PRINTING CHARGES	270.11
EFT112077	28/04/2011	KIMBERLEY ECHOALBANY ADVERTISER	VARIOUS ADVERTISING	3,988.93
EFT112078	28/04/2011	KIMBERLEY MOBILE DIESELS	LANDFILL SITE LOADER - WATER IN TANK - P474	371.90
EFT112079	28/04/2011	L.G.R.C.E.U	PAYROLL DEDUCTIONS	17.40
EFT112080	28/04/2011	MCLACHLAN, SHARON	ELECTRICITY SUBSIDY 08/12/10 - 09/02/11	117.71
EFT112081	28/04/2011	MARGARET LIPPITT	CLEANING VARIOUS PUBLIC AMENITIES - WYNDHAM 26/02/11 - 15/03/11	1,260.00
EFT112082	28/04/2011	MARTELL ROAD MAINTENANCE	ROAD PATCHING – WYNDHAM & KUNUNURRA, TOWN & EXTERNAL	11,730.40

			28/02/11 – 14/03/11	
EFT112083	28/04/2011	RICK SPRY	ELECTRICITY SUBSIDY 28/01/11 - 30/03/11	293.11
EFT112084	28/04/2011	SHIRE OF WYNDHAM EAST KIMBERLEY	PAYROLL DEDUCTIONS	1,045.00
EFT112085	28/04/2011	SYNETRIX	LAPTOP POWER SUPPLY	564.30
EFT112086	28/04/2011	TUCKERBOX/RETRAVISION	MARCH-CONSUMABLES, CATERING, CAMERAS-BUILDING SRVYRS, PHONE-KNX LIBRARY	2,765.24
EFT112087	28/04/2011	TYREPLUS KUNUNURRA	WHEEL BALANCE - P204	25.00
EFT112088	28/04/2011	WA LOCAL GOVERNMENT ASSOCIATION	VARIOUS ADVERTISING - SEPTEMBER 2010	10,541.85
EFT112089	28/04/2011	WA LOCAL GOVERNMENT SUPER	SUPERANNUATION CONTRIBUTIONS	23,669.49
			<b>TOTAL MUNI EFT PAYMENTS</b>	<b>563,123.56</b>

CHQ	DATE	NAME	DESCRIPTION	AMOUNT
40244	7/04/2011	AUST ETHICAL INVESTMENT & SUPER	SUPERANNUATION CONTRIBUTIONS	120.00
40245	7/04/2011	AXA AUSTRALIA	SUPERANNUATION CONTRIBUTIONS	200.40
40246	7/04/2011	BT LIFETIME PERSONAL SUPER	SUPERANNUATION CONTRIBUTIONS	166.48
40247	7/04/2011	CBUS	SUPERANNUATION CONTRIBUTIONS	1,477.86
40248	7/04/2011	COLONIAL PERSONAL SUPER	SUPERANNUATION CONTRIBUTIONS	478.30
40249	7/04/2011	DEPARTMENT FOR PLANNING AND INFRA	VEHICLE REGISTRATION - P480	24.05
40250	7/04/2011	FIRST STATE SUPER	SUPERANNUATION CONTRIBUTIONS	226.04
40251	7/04/2011	HESTER SUPER GROUP PTY LTD	SUPERANNUATION CONTRIBUTIONS	141.37
40252	7/04/2011	HOSTPLUS SUPERANNUATION FUND	SUPERANNUATION CONTRIBUTIONS	159.66
40253	7/04/2011	LG SUPER	SUPERANNUATION CONTRIBUTIONS	348.84
40254	7/04/2011	MLC NOMINEES PTY LTD	SUPERANNUATION CONTRIBUTIONS	615.72
40255	7/04/2011	MARITIME CONSTRUCTIONS PTY LTD	PROGRESS PAYMENT # 7 - WYNDHAM COMMUNITY JETTY	624,507.83
40256	7/04/2011	RECRUITMENT SUPER	SUPERANNUATION CONTRIBUTIONS	139.11
40257	7/04/2011	REST SUPER	SUPERANNUATION CONTRIBUTIONS	698.40
40258	7/04/2011	SPECTRUM SUPER	SUPERANNUATION CONTRIBUTIONS	180.94
40259	7/04/2011	STATEWIDE SUPERANNUATION TRUST	SUPERANNUATION CONTRIBUTIONS	178.95
40260	7/04/2011	SUNSUPER	SUPERANNUATION CONTRIBUTIONS	195.06
40261	7/04/2011	TELSTRA	EXECUTIVE LANDLINE CHARGES - MARCH 2011	201.67
40262	7/04/2011	TASPLAN	SUPERANNUATION CONTRIBUTIONS	171.71
40263	7/04/2011	THE TRUSTEE FOR HEADING SUPER	SUPERANNUATION CONTRIBUTIONS	340.14

FUND				
40264	7/04/2011	VISION SUPER	SUPERANNUATION CONTRIBUTIONS	1,048.46
40265	7/04/2011	WESTSCHEME	SUPERANNUATION CONTRIBUTIONS	234.50
40266	7/04/2011	WATER CORPORATION	WATER USE - KONKERBERRY AUTOMATED TOILET	31.00
40267	8/04/2011	CASH	REPLACEMENT PETTY CASH - BREAK-IN WYNDHAM SWIMMING POOL	90.00
40268	19/04/2011	CASH PETTY CASH KNX DEPOT	REPLACEMENT PETTY CASH - BREAK-IN KUNUNURRA DEPOT	100.00
40269	19/04/2011	CBUS	SUPERANNUATION CONTRIBUTIONS	2,917.09
40270	19/04/2011	COCACOLA AMATIL	CONSUMABLES FOR RE-SALE - KUNUNURRA LEISURE CENTRE	1,799.15
40271	19/04/2011	DEPARTMENT FOR PLANNING AND INFRA	VARIOUS VEHICLE REGISTRATIONS	301.80
40272	19/04/2011	GEORGE EDWARDS	REFUND RATES OVERPAYMENT	998.16
40273	19/04/2011	HORIZON POWER	VARIOUS ELECTRICITY CHARGES	42,278.13
40274	19/04/2011	HORIZON POWER NON ENERGY	ELECTRICAL WORKS - WHITEGUM PARK RE-DEVELOPMENT	9,128.00
40275	19/04/2011	ORION SOLAR PTY LTD	WHITE TILE LIGHTS & SUS CASE - WHITEGUM PARK RE-DEVELOPMENT	5,580.00
40276	19/04/2011	RECRUITMENT SUPER	SUPERANNUATION CONTRIBUTIONS	306.36
40277	19/04/2011	SPECTRUM SUPER	SUPERANNUATION CONTRIBUTIONS	414.94
40278	19/04/2011	WATER CORPORATION	VARIOUS WATER CHARGES & DAMAGE CHARGES - WHITEGUM PARK RE-DEVELOPMENT	14,667.20
40279	21/04/2011	PINDAN CONTRACTING PTY LTD	PROGRESS PAYMENT # 8 - EAST KIMBERLEY REGIONAL AIRPORT TERMINAL EXPANSION	541,422.97
40280	28/04/2011	AUST ETHICAL INVESTMENT & SUPER	SUPERANNUATION CONTRIBUTIONS	120.00
40281	28/04/2011	AXA AUSTRALIA	SUPERANNUATION CONTRIBUTIONS	201.70
40282	28/04/2011	BT LIFETIME PERSONAL SUPER	SUPERANNUATION CONTRIBUTIONS	142.77
40283	28/04/2011	CASH PLEASE PAY CASH	CASH FLOAT - DISCO 29/04/11	200.00
40284	28/04/2011	CBUS	SUPERANNUATION CONTRIBUTIONS	1,304.90
40285	28/04/2011	COLONIAL PERSONAL SUPER	SUPERANNUATION CONTRIBUTIONS	478.30
40286	28/04/2011	FIRST STATE SUPER	SUPERANNUATION CONTRIBUTIONS	226.04
40287	28/04/2011	HORIZON POWER	VARIOUS ELECTRICITY CHARGES	5,180.32
40288	28/04/2011	HESTER SUPER GROUP PTY LTD	SUPERANNUATION CONTRIBUTIONS	140.14
40289	28/04/2011	HOSTPLUS SUPERANNUATION FUND	SUPERANNUATION CONTRIBUTIONS	281.70
40290	28/04/2011	KUNUNURRA BUSHMAN'S RODEO ASS	REFUND CHANGE OF USE PLANNING FEES PAID - NO PAYMENT REQUIRED	270.00
40291	28/04/2011	LG SUPER	SUPERANNUATION CONTRIBUTIONS	351.72

40292	28/04/2011	MLC NOMINEES PTY LTD	SUPERANNUATION CONTRIBUTIONS	606.56
40293	28/04/2011	RECRUITMENT SUPER	SUPERANNUATION CONTRIBUTIONS	120.87
40294	28/04/2011	REST SUPER	SUPERANNUATION CONTRIBUTIONS	700.52
40295	28/04/2011	SPECTRUM SUPER	SUPERANNUATION CONTRIBUTIONS	180.36
40296	28/04/2011	STATEWIDE SUPERANNUATION TRUST	SUPERANNUATION CONTRIBUTIONS	179.59
40297	28/04/2011	SUNSUPER	SUPERANNUATION CONTRIBUTIONS	195.06
40298	28/04/2011	TASPLAN	SUPERANNUATION CONTRIBUTIONS	171.71
40299	28/04/2011	THE TRUSTEE FOR HEADING SUPER FUND	SUPERANNUATION CONTRIBUTIONS	340.14
40300	28/04/2011	VISION SUPER	SUPERANNUATION CONTRIBUTIONS	1,157.77
40301	28/04/2011	WESTSCHEME	SUPERANNUATION CONTRIBUTIONS	233.23
40302	28/04/2011	WATER CORPORATION	VARIOUS WATER CHARGES	5,311.15
<b>TOTAL MUNI CHEQUE PAYMENTS</b>				<b>1,269,984.84</b>

<b>CHQ</b>	<b>DATE</b>	<b>NAME</b>	<b>DESCRIPTION</b>	<b>AMOUNT</b>
141	12/04/2011	DAVID M FAIRCICH	REFUND FOOTPATH BOND BL 161/2008	250.00
142	12/04/2011	ORD VALLEY COUNTRY WOMEN'S ASS	BOND REFUND HALL HIRE	1,000.00
143	12/04/2011	WYNDHAM FAMILY SUPPORT	BOND REFUND HALL HIRE	1,000.00
144	21/04/2011	COLIN WILKINSON DEV. PTY LTD	BOND REFUND FOOTPATH BL 103/2009	750.00
145	21/04/2011	DARREN BRUCE FULCHER	BOND REFUND FOOTPATH BL. 029/2010	270.00
146	21/04/2011	ECOFFICIENT HOMES	BOND REFUND FOOTPATH BL. 159/2010	300.00
147	21/04/2011	FRANMOR CONSTRUCTIONS PTY LTD	BOND REFUND FOOTPATH BL. 004/2011	400.00
148	21/04/2011	SHANE HODGE	BOND REFUND HALL HIRE	1,000.00
<b>TOTAL TRUST CHEQUE PAYMENTS</b>				<b>4,970.00</b>

<b>CHQ</b>	<b>DATE</b>	<b>NAME</b>	<b>DESCRIPTION</b>	<b>AMOUNT</b>
500065	21/04/2011	TRUST DPI CLEARING	TRANSPORT CLEARING 20/04/2011	14,388.65
<b>TOTAL TRUST EFT PAYMENTS</b>				<b>14,388.65</b>

<b>DATE</b>	<b>NAME</b>	<b>DESCRIPTION</b>	<b>AMOUNT</b>
6/04/2010	PAYROLL	PAYROLL	185,963.18
20/04/2010	PAYROLL	PAYROLL	187,739.52

<b>DATE</b>	<b>NAME</b>	<b>TOTAL PAYROLL PAYMENTS DESCRIPTION</b>	<b>373,702.70 AMOUNT</b>
1/04/2011	DIRECT DEBIT	LEASE COSTS - 1 KOOJARRA STREET WYNDHAM	1,191.67
1/04/2011	DIRECT DEBIT	LEASE COSTS - 8 PALM COURT KUNUNURRA	2,173.47
1/04/2011	DIRECT DEBIT	LEASE COSTS - 11 KWINANA STREET WYNDHAM	1,386.00
1/04/2011	DIRECT DEBIT	FEES - BPAY	144.08
7/04/2011	DIRECT DEBIT	MASSAGES ON HOLD	507.00
15/04/2011	DIRECT DEBIT	FEES - BPOINT	29.01
15/04/2011	DIRECT DEBIT	VEHICLE LEASE - SG FLEET AUSTRAL	1,036.20
20/04/2011	DIRECT DEBIT	MASTERCARD PAYMENT	13,889.43
21/04/2011	DIRECT DEBIT	LEASE COSTS - 2/1 PLUM COURT KUNUNURRA	2,296.67
27/04/2011	DIRECT DEBIT	LEASE COSTS - 12/33 KONKERBERRY DRIVE KUNUNURRA	2,166.67
27/04/2011	DIRECT DEBIT	VEHICLE LEASE - NOVATED LEASE	1,270.46
4/04/2011	DIRECT DEBIT	VISA PAYMENT	6,478.29
Apr-11	DIRECT DEBIT	WESTNET P/L - INTERNET	1,529.14
Apr-11	DIRECT DEBIT	LEASE COSTS - 19B BOOBIALLA WAY KUNUNURRA	1,540.00
		<b>TOTAL DIRECT DEBIT PAYMENTS</b>	<b>44,082.50</b>

## 12.3 INFRASTRUCTURE SERVICES

### 12.3.1 Mulligan's Lagoon Road Petition

<b>DATE:</b>	24 May 2011
<b>PROPONENT:</b>	Shire of Wyndham / East Kimberley
<b>LOCATION:</b>	Shire of Wyndham / East Kimberley
<b>AUTHOR:</b>	Russell Williams, Senior Projects Officer Fiona Kuiper, Executive Assistant
<b>REPORTING OFFICER:</b>	Russell Williams, Senior Projects Officer
<b>FILE NO:</b>	RD.07.7, CU.06.19
<b>ASSESSMENT NO:</b>	N/A

#### **PURPOSE**

For Council to receive the petition regarding the condition of Mulligans Lagoon Road and to consider the reconstruction of Mulligans Lagoon Road as part of forward works programming.

#### **BACKGROUND**

On receiving a petition from concerned residents on Mulligan's Lagoon Road an assessment of the road condition was made by Russell Williams, Senior Project Manager.

Mulligan's Lagoon Road is a semi formed and gravel sheeted rural road. The gravel sheeting on this road has reduced due to natural attrition over years of grading and heavy rain fall events.

The construction sub grade is of a natural clay material that has compositely high plasticity index (PI) that fails or loses its integrity if saturated with water in a high rain fall event.

Subsequently the minimal gravel sheeting is failing causing a complete breakdown of the road.

#### **STRATEGIC IMPLICATIONS**

*Key Result Area 1 – Infrastructure*

To provide a road network that is safe and meets its functional requirements.

#### **STATUTORY IMPLICATIONS**

Nil

#### **POLICY IMPLICATIONS**

Nil

#### **FINANCIAL IMPLICATIONS**

This project has not been accounted for in any funding for the 2010/11 financial year. A fully costed budget will be provided for the 2011/12 financial year and subsequent years to 2016

to have the road brought up to a suitable standard that will have a 12 to 16 year life cycle that could be increased if regular maintenance programs are acted upon.

The table below shows a best estimated project costing that has allowed for CPI increments of 4% over the next five years.

<b>MULLIGAN'S LAGOON ROAD UPGRADE</b>					
<b>FORCASTED BUDGET REQUIREMENTS FOR THE NEXT FIVE YEARS</b>					
metres in length	2011/12	2012/13	2013/14	2014/15	2015/16
1600	\$352,000.00				\$352,000.00
1600		\$366,080.00			\$366,080.00
1600			\$380,723.20		\$380,723.20
1600				\$395,952.13	\$395,952.13
1600					\$411,790.21
					<b>\$1,906,545.54</b>
<b>Allowance made for CPI increases @ 4% per year</b>					

### **COMMUNITY CONSULTATION**

Community consultation was not required in the preparation of this report.

### **CONCLUSION/COMMENT**

The road in its entirety (8 kilometres) requires a reconstruction procedure that involves reshaping and re-gravelling to a minimum width of eight metres, with a suitable low PI material.

The first section (approximately 1.6 kilometres) should then be cement stabilised and sealed to a minimum width of six point two metres with a two coat Polymer Modified Bitumen (PMB) bitumen seal.

### **ATTACHMENTS**

Attachment 1 – Petition regarding Mulligan's Lagoon Road  
Attachment 2 – SWEK Acknowledgement Letter

### **VOTING REQUIREMENT**

Simple Majority

## **OFFICER'S RECOMMENDATION**

That Council:

1. Note the petition regarding the condition of Mulligan's Lagoon Road.
2. That Council consider stage one works for Mulligan's Lagoon Road for inclusion in the 2011/12 Budget and program Mulligan's Lagoon Road reconstruction and cement stabilisation into the Five Year Capital Works program.

## **COUNCIL DECISION**

**Minute No. 9463**

**Moved: Cr D Ausburn**

**Seconded: Cr J Moulden**

**That Council:**

1. **Note the petition regarding the condition of Mulligans Lagoon Road.**
2. **That Council consider stage one works for Mulligans Lagoon Road for inclusion in the 2011/12 Budget and program Mulligans Lagoon Road reconstruction and cement stabilisation into the Five Year Capital Works program.**

**Carried Unanimously 9/0**

**Attachment 1: Petition regarding Mulligan's Lagoon Road**

01 APR 2011

1-7263

**Tropical Sands Pty Ltd**

ABN 66 095 601 559

Mulligans Lagoon Road 349, P.O. Box 1800  
KUNUNURRA WA 6743

PHONE: 08 9168 1878, FAX: 08 9168 1879

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Shire of Wyndham-East Kimberley  
PO Box 614  
Kununurra WA 6743

18<sup>th</sup> March 2011

Dear Shire President and Councillors

**Re: Mulligans Lagoon Road, Kununurra**

I would like to address the issue of the appalling condition of the access road – Mulligans Lagoon Road which comes off Weaber Plains Road in Kununurra.

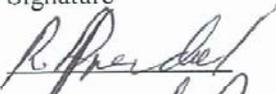
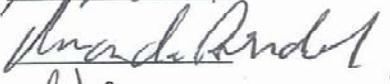
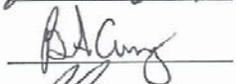
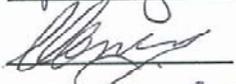
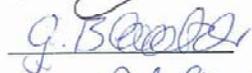
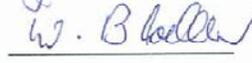
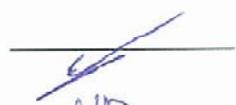
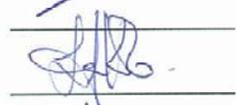
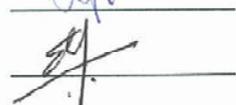
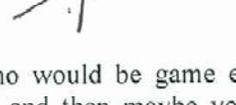
As you know, the current and persistent rain has absolutely made it almost impossible to access through mud and water. We understand this is highly unusual with the rain fall over the past month, however it does not take very much for this road to become a mud bath! Over the past ten years, I have witnessed a continuous decline in the quality of the road. The issue here is why do we still have a major access road in gravel?

There are a number of people who use this road on a daily basis. It is an essential access point, not only for the local residents but also for heavy transport vehicles that carry produce to and from various farm locations on this road.

Another concern of mine, is the element of safety and risk involved to my family, employees and fellow Kununurra residents who are subject to a dangerous drive every day. I also have personal concerns for the safety of my family, in case of any emergency whereby we may not have access to the road.

As rate payers we are in awe as to why this road has yet to be addressed and resolved. I implore your action in expediting the process of fixing this issue. If this is a money issue, I would suggest to draw your attention to the areas which need immediate bitumen, so there is at least 24 hours of road access.

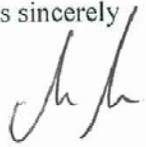
Below are fellow Kununurra residents who also share the same concern and are subject to the unsafe road:

Name	Signature
Mr Drendel	
Mrs Drendel	
Bruce Carey	
Christine Carey	
Gabriele Bloecker	
Wilhelm Bloecker	
Veronica Atkins	_____
Will Atkins	_____
Steve Johnson	_____
Dean Alexander	
Stefan Wlassek	
Lydia Jakob	
Elaine Kong-Bishop	

I would like to invite any Councillor, who would be game enough to drive through Mulligans Lagoon Road, 2-3 times a day and then maybe you would understand the validity of our concerns.

I await your impending reply to this urgent and pressing issue. Please do not hesitate to call me at 9168 1878 for further assistance.

Thank you in advance for your time.

Yours sincerely  


Michael Jakob  
Managing Director

## Attachment 2: SWEK Acknowledgement Letter

Our Ref: CU.06.19 / O-8869  
Cross Ref: I-7263  
Your Ref:  
Enquiries: Fiona Kuiper

18 May 2011

Tropical Sands Pty Ltd  
P O Box 1800  
KUNUNURRA WA 6743

Dear Michael

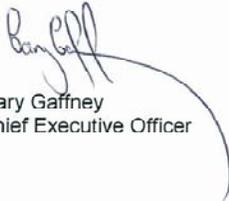
**Mulligans Lagoon Road, Kununurra**

I am in receipt of your letter and petition regarding the condition of Mulligan's Lagoon Road and apologise for the delay in responding. Your petition will be presented to Council at the Ordinary Council Meeting 24 May 2011.

Officers have inspected the road and indicate that your concerns are justified; however the current five year works plan only provides for routine maintenance to Mulligan's Lagoon Road. Officers will review the plan and assess the options for reallocating funds to allow for more extensive works to Mulligan's Lagoon Road. Officers will present a report to the Ordinary Meeting of Council 21 June 2011.

Should you would like to discuss this matter further, please do not hesitate to contact Russell Williams, Senior Project Officer on (08) 9168 4100 or email Fiona.Kuiper@swek.wa.gov.au.

Yours sincerely,



Gary Gaffney  
Chief Executive Officer

[www.thelastfrontier.com.au](http://www.thelastfrontier.com.au)



Shire of  
Wyndham-  
East  
Kimberley

All communications  
to be addressed to the  
Chief Executive Officer  
PO Box 614  
Kununurra WA 6743  
Ph (08) 9168 4100  
Fax (08) 9168 1798  
Email:  
[mail@thelastfrontier.com.au](mailto:mail@thelastfrontier.com.au)

Kununurra Office:  
115 Coolibah Drive  
Kununurra

Wyndham Office:  
Koolama Street  
Wyndham

The  
Last  
Frontier

## 12.4 DEVELOPMENT SERVICES

### 12.4.1 Draft Council Policy : CP/HTH-3761 Licensing of Overflow Sites in Caravan Parks and Camping Grounds

<b>DATE:</b>	24 May 2011
<b>PROPONENT:</b>	Shire of Wyndham East Kimberley
<b>LOCATION:</b>	Kununurra, Wyndham and Lake Argyle
<b>AUTHOR:</b>	Kelly Cripps, Senior Environmental Health Officer
<b>REPORTING OFFICER:</b>	Nick Kearns, Director Development Services
<b>FILE NO:</b>	CM.11.2
<b>ASSESSMENT NO:</b>	N/A

#### **PURPOSE**

To seek endorsement of draft Council Policy CP/HTH-3761 - Licensing of Overflow Sites in Caravan Parks and Camping Grounds.

#### **BACKGROUND**

The draft policy was revised in response to feedback received from Caravan Park and camping ground operators following release of the original draft in April 2010. The original draft prohibited overflow sites in licensed caravan parks and camping grounds.

The removal of overflow sites and enforcement of maximum sites within existing caravan parks significantly reduced the number of licensed sites available in 2010. The Shire considered a temporary camp ground in the peak tourist season to try and alleviate the shortfall however the cost and logistics to offer this service has far outweighed any benefit.

This revised policy gives licensed Caravan Parks and Camping Grounds to option to offer an additional 10 sites during the busiest two months of the year without upgrading their facilities. It is reasonable to expect that existing facilities should be able to cope with a small increase in patrons over a short period of time without posing a health risk.

It is seen as a better option to provide a small number of overflow sites within existing caravan parks where there are appropriate amenities rather than try to create a temporary park with limited facilities.

The Kununurra Visitors Centre have advised that they experience shortages for sites from the end of June until the middle of July in 2010. For this reason, the policy confines overflow sites to 1 June - 31 July each year. This restriction will assist with monitoring and enforcement.

There are also minimum standards applied to overflow sites which are similar to those provided for temporary camp grounds and transit parks. This is seen as fair and consistent.

This draft policy applies to all licensed caravan parks and camping grounds. It does not apply to nature based camping grounds, transit parks and temporary camping facilities. Reduced levels of amenity and other conditions are already placed on these facilities and detailed in further Council policies.

## **STRATEGIC IMPLICATIONS**

There are no strategic implications related to this item.

## **STATUTORY IMPLICATIONS**

Local Government is empowered under the *Caravan Parks and Camping Grounds Regulations 1997* to license an overflow area for a period of time and in accordance with relevant conditions.

*Caravan Parks and Camping Grounds Regulations 1997*

### 20. Use of overflow area

*The licence holder of a facility is to ensure that an overflow area of the facility is used only -*

*12.2.2 With the approval of local government;*

*13.2.2 For the period of time specified in that approval; and*

*14.2.2 In accordance with any conditions specified in that approval.*

*Penalty \$2000.*

## **POLICY IMPLICATIONS**

This policy will provide clarity on Council's expectations for licensing of overflow sites. A copy of draft policy CPTH-3761 is provided at Attachment 1.

## **FINANCIAL IMPLICATIONS**

The following annual fees are determined by the *Caravan Parks and Camping Grounds Regulations 1997*. They are charged by the Shire at the commencement of each financial year.

- Long and short stay sites \$6/annum  
*Long Stay Site: means a site at a caravan park which is to be occupied consecutively by the one person or group of persons for any period of time.*  
*Short Stay Site: means a site at a caravan park which is to be occupied consecutively by the one person or one group of persons, for no longer than 3 consecutive months.*
- Camp sites \$3/annum  
*Includes to camp in a vehicle but not caravans.*
- Overflow sites \$1.50/annum  
*May only be used with the approval of the local government, for a period of time specified in that approval, and in accordance with any conditions placed on that approval*

Should the policy be adopted and caravan parks are allowed to operate overflow sites, additional income from fees and charges will be not more than \$150/annum.

## **COMMUNITY CONSULTATION**

The revised draft policy was sent to all licensed caravan park and camping grounds operators within the Shire, and also the Kununurra Visitors Centre. A summary of responses is provided as attachment 2.

## **COMMENT**

The situation throughout the Kimberley is unique in that we experience a dramatic influx of people for a relatively short period of time. In addition to this there are vast distances between towns and other camping facilities so it is unreasonable to expect travellers to find sites elsewhere to stay.

The changes to the draft policy aim to make the licensing of overflow sites in existing caravan parks fair and equitable without reducing the amenity of these facilities.

## **ATTACHMENTS**

Attachment 1 – Revised Policy CP/HTH-3761

Attachment 2 – Summary of comment submissions

## **VOTING REQUIREMENT**

Simple Majority

## **OFFICER'S RECOMMENDATION**

That Council formally adopts the Council Policy CP/HTH-3761 - Licensing of Overflow Sites in Caravan Parks and Camping Grounds.

## **COUNCIL DECISION**

**Minute No. 9464**

**Moved: Cr J Moulden**

**Seconded: Cr K Torres**

**That Council formally adopts the Council Policy CP/HTH-3761 - Licensing of Overflow Sites in Caravan Parks and Camping Grounds.**

**Carried Unanimously 9/0**

## Attachment 1: Revised Policy CP/HTH-3761



### *Shire of Wyndham East Kimberley* **Council Policy Number: CP/HTH-3761** **Licensing of Overflow Sites in** **Caravan Parks and Camping Grounds**

#### **OBJECTIVE:**

- Clarify Council's position regarding regulation 20 - Use of Overflow Areas, in the *Caravan Park and Camping Ground Regulations 1997*; and
- To provide guidance to staff, Councillors and caravan park operators on the licensing of overflow areas within Caravans Park and Camping Grounds.

#### **POLICY:**

##### Scope & Limitations

This policy applies to all licensed caravan parks and camping grounds within the Shire of Wyndham East Kimberley.

The policy does not apply to nature based camp grounds, transit parks or temporary licenses approved under section 54 of the *Caravan Park and Camping Grounds Regulations 1997*.

The *Caravan Parks and Camping Grounds Regulations 1997* define the following:

- 'Long Stay Site' means a site at a caravan park which is to be occupied consecutively by the one person or group of persons for any period of time
- 'Short Stay Site' means a site at a caravan park which is to be occupied consecutively by the one person or one group of persons, for no longer than 3 consecutive months
- 'Camp Site' includes to camp in a vehicle but not caravans.
- 'Overflow Site' may only be used with the approval of the local government, for a period of time specified in that approval, and in accordance with any conditions placed on that approval

##### Background

The *Caravan Park and Camping Grounds Regulations 1997* give discretion to Local Government on the licensing of overflow sites. Section 20 of the regulations state;

- "The license holder of a facility is to ensure that an overflow area is used only;*
- (i) With the approval of the local government;*
  - (ii) For the period of time specified in that approval; and*
  - (iii) In accordance with any conditions specified in that approval."*

Whilst the regulations do not specify a reduction in the level of amenity to overflow sites, they will only be permitted for two months during the peak tourist season. It is therefore reasonable to expect minimum standards similar to those required by temporary parks approved under policy CP/HTH-3762 Licensing of Temporary Camp Grounds.

### Guiding Statement

1. Overflow sites may be approved within licensed Caravan Park and Camping Grounds.
2. Caravan Parks and Camping Grounds must apply for overflow sites each year as part of the annual license renewal process.
3. NEED
  - 3.1 Overflow sites are approved only to alleviate the pressures of peak tourist season when there is an influx of caravanners and campers. They may only be operated for two months, between 1 June and 31 July, each year.
  - 3.2 A maximum of five nights stay will apply unless otherwise approved by the Shire of Wyndham East Kimberley. These nights do not have to be consecutive.
  - 3.3 Parks that wish to operate overflow sites outside of these dates must include justification (why is it needed, who are the main users) and impact on existing caravan park and camping ground establishments within a 50km radius.
4. AMENITY

The Shire accepts lower levels of amenity than those which could be typically expected within a permanent holiday or caravan park. However, all applications should as a minimum accord with standards prescribed in this policy and any other environment, health and building legislation.
5. FEES

Fees for operating overflow sites are determined in 'Schedule 3 - Fees' of the *Caravan Park and Camping Grounds Regulations 1997*.
6. MINIMUM REQUIREMENTS

Overflow sites must meet requirements of the Caravan Park and Camping Ground Regulations 1997, however the following minimum standards may be accepted:

  - 6.1 ABLUTIONS

Ten (10) overflow sites may be approved within a licensed caravan park and camping ground without any adjustment to the numbers of ablutions.

If more than 10 overflow sites are being licensed they should be provided with the following additional ablutions:

Sites	Toilets		Showers (each gender)	Hand basins (each gender)
	Male	Female		
11-20	1	1	1	1
21-30	2	2	2	2
31-40	3	3	3	3
41-50	4	4	4	4

There is to be at least one toilet and one shower within 90m of each overflow site.

It is the responsibility of the facility licence holder to ensure that ablutions are maintained in a clean and suitable manner.

## 6.2 WATER

There must be a potable water supply within 90m of every overflow site.

## 6.3 LIGHTING

The overflow area is to be lit at night so that occupants have sufficient visibility to go to and return from the nearest ablution block, and the nearest building containing a toilet, in safety.

## 6.4 ELECTRICITY

Overflow sites do not need to be provided with power.

Generators to 2kva are permitted between the hours of 7am and 9.30pm on overflow sites.

## 6.5 RUBBISH

Bins shall be located within 30m of every site and emptied as necessary, but at least once a week.

Rubbish bins are to be sealed to prevent infestation from insects and vermin.

## 6.6 FIRE FIGHTING EQUIPMENT

Where a facility's water supply is not adequate to operate fire hoses effectively, the facility may have;

- i) fire extinguishers accessible at all times within 90m of every site; or
- ii) a portable fire fighting unit with a minimum capacity of 1000L, which must be full and easily accessible at all times. The operational capacity of a fire fighter unit shall be demonstrated upon request by the Shire's Fire Control Officer or a FESA representative.

## 6.7 SETBACKS

Camp area shall be clearly defined and marked so it is clear to users where they shall and shall not camp.

There shall be no more than ten people permitted to camp on a site at any one time

A maximum of one caravan, bus, campervan or tent is permitted per site.

A minimum of 3m is required between caravans, buses, campervans and tents on different sites.

Caravans, buses, campervan and tents must be set back at least 5m from the road.

Patrons are not permitted to conduct commercial or profit making business activities from an overflow site.

## 7. LICENCE

Overflow sites will only be approved once an Environmental Health Officer has inspected the site and determined that they meet minimum standards.

### Outcomes

The policy is clear in its intent of providing guidance on the licensing of overflow sites within Caravan Parks and Camping Grounds. It provides staff and park operators with an understanding of minimum standards required for the licensing of overflow sites.

### GOVERNANCE REFERENCES

<b>Statutory Compliance</b>	<i>Caravan Parks and Camping Grounds Act 1995 Caravan Parks and Camping Grounds Regulations 1997</i>
<b>Industry Compliance</b>	N/A
<b>Organisational Compliance</b>	Delegations Manual
<b>Process Links</b>	

### POLICY ADMINISTRATION

<b>Directorate</b>		<b>Officer Title</b>		<b>Contact:</b>	
Development Services		Senior Environmental Health Officer		Ext: 175	
<b>Date Effective</b>	25/5/2011				
<b>Date Adopted</b>	24/5/2011	<b>Last Reviewed</b>	N/A		
<b>Risk Rating</b>	Low	<b>Review Cycle</b>	Tri-Annual	<b>Next Due</b>	24/5/2014

**Attachment 2: Summary of Comment Submissions**

<b>SUBMITTER</b>	<b>RESPONSE</b>	<b>SUMMARY OF CONTENT</b>	<b>STAFF RESPONSE AND COMMENT</b>
Kununurra Agricultural Society (Inc.)		<p>Statement 3.1 of the policy states that overflow sites can only be operated for 2 months of the year; however 3.3 states that parks must seek approval to operate overflow sites outside of these dates. Will applications be circulated for comment to the caravan parks which may be impacted?</p> <p>Is there an upper limit on how many extra sites can be applied for within existing caravan parks?</p> <p>How long does the Shire envisage the application process will take if an immediate need for extra sites arises?</p>	<p>The 2 month period is limiting therefore item 3.3 maintains an option for parks to operate overflow sites outside of these dates. The policy is clear in its requirement for applicants to provide justification (why is it needed, who are the main users) and impact on existing caravan park and camping grounds, therefore applications for overflow sites outside of the peak period do not need to be circulated to other caravan parks and camping grounds.</p> <p>A requirement of justification to be provided for approving overflow sites would be the need to validate the number of sites being applied for.</p> <p>An application for overflow sites outside of the 1 June to 31 July period should allow 10 working days to be processed. Overflow sites for the peak period can be applied for each year upon reapplication for a license so there should be no need for last minute applications.</p>

SUBMITTER	RESPONSE	SUMMARY OF CONTENT	STAFF RESPONSE AND COMMENT
Unknown	Disagree	<p>Believe that the period should also include June and May (during the festival).</p> <p>Larger parks can support more overflow sites – perhaps up to 25, without causing too much inconvenience to guests, and requiring additional facilities (provided that cleaning and maintenance schedules are increased during that time).</p>	<p>The timeframe for licensing has been guided by the Kununurra Visitors Centre, who monitor availability of sites each year. The policy may be reviewed and updated and necessary.</p> <p>10 overflow sites is seen as appropriate. If each site has an average of 3 people this would be 30 extra people using existing facilities for 2 months. 25 sites with an average of 3 people per site would mean an extra 75 people using the facilities. Council Officers believe this is unreasonable and would be difficult to maintain an adequate level of amenity.</p>
Susan Bradley, Ellenbrae Station	Disagree	<p>Should be 1<sup>st</sup> July to 30<sup>th</sup> September. The Gibb River Road's peak tourist months are August/September. Sometimes (as is this year) the road/access will not be open until mid-June. This by-law really only considers the towns. You seriously need to consider the Gibb River Road and Kalumburu. Mitchell Plateau Roads.</p>	<p>Ellenbrae is licensed as a nature based camping ground. The policy for overflow sites does not apply to nature based camp grounds as these already provide facilities with lower level amenity than those required of the regulations.</p>
Nick Israel, El Questro Wilderness Park	Support	<p>No objections and happy to support this initiative</p>	<p>El Questro is a nature based camp ground so the policy will not apply to it.</p>
Bastiaan Kap, Doon Doon Roadhouse	Support		<p>Doon Doon Roadhouse is a nature based camp ground so the policy will not apply to it.</p>

**12.4.2 Proposed Road Closure – Portion of Unnamed Road Reserve, Wyndham**

<b>DATE:</b>	24 May 2011
<b>PROPONENT:</b>	Shire of Wyndham East Kimberley
<b>LOCATION:</b>	Foreshore Road, Wyndham
<b>AUTHOR:</b>	Jennifer Ninyette, Planning Officer
<b>REPORTING OFFICER:</b>	Nick Kearns, Director Development Services
<b>FILE NO:</b>	LP.02.53
<b>ASSESSMENT NO:</b>	N/A

**PURPOSE**

For Council to consider the closure of an unnamed road reserve (PIN 1346974) adjacent to Foreshore Road, Wyndham, to enable reservation of land for the purpose of 'Community Recreation and Marine Activities'.

**BACKGROUND**

In July 2010 Council resolved to support the reservation of the foreshore area located along Foreshore Road, Wyndham, for the purpose of 'Community Recreation and Marine Activities', as provided below:

**Minute No: 9220**

**Moved: Cr J McCoy**  
**Seconded: Cr J Moulden**

**That Council:**

**1. Supports the proposed reservation of foreshore area located along Foreshore Road Wyndham and comprising of:**

- 15.2.2 Unnamed road reserve (PIN 1346974);**
  - i. Portion of Reserve 24041 (Wyndham Lot 406 and portion Wyndham Lot 1232);**
  - ii. Reserve 29708 (Lot 405 on Deposited Plan 172498); and**
- 16.2.2 Reclaimed land (Anthon's Landing);**

**to be reserved for the purpose of 'Community Recreation and Marine Activities' in line with a management order issued to the Shire of Wyndham East Kimberley.**

**2. Seeks comment from the Department of Transport on the proposed reserve for the purpose of 'Community Recreation and Marine Activities' and management order to be issued to the Shire of Wyndham East Kimberley.**

**3. Requests the Department of Regional Development and Lands to initiate action to create a reserve for the purpose of 'Community Recreation and Marine Activities', to be**

**managed by the Shire of Wyndham East Kimberley, subject to comment from the Department of Transport.**

**CARRIED UNANIMOUSLY: (6/0)**

The above resolution forms part of the project delivery for the Wyndham Community Jetty, which requires rationalisation of land tenure surrounding the proposed site to ensure appropriate management of the facility following its construction.

Currently the foreshore area surrounding Anthon's Landing consists of a variety of land tenures and ownership including:

- Unnamed road reserve (PIN 1346974)
- Portion of Reserve 24041 (Lot 406 and portion Lot 12)
- Reserve 29708 (Lot 405)
- Reclaimed land (Anthon's Landing)

Reserve 24041 forms part of the larger 'Harbour Purposes' reserve which covers the Wyndham Port and is under the control, use and management of the Minister of Transport.

Reserve 29708 is for the purpose of 'Public Conveniences' and is under the care, control and management of the Shire. The existing public toilets however are located within the Foreshore Road Reserve.

A portion of the existing Anthon's Landing extends past the surveyed water mark, and therefore is considered to be reclaimed land.

The plan at Attachment 1 highlights these existing tenures, of which Reserve 24041 forms the majority of the foreshore area intended to be reserved, as shown on the plan at Attachment 2, which will incorporate both the existing recreational boat ramp and proposed jetty site.

To further progress the proposed reservation in accordance with Council's resolution the Shire has been directed by the Department of Regional Development and Lands to initiate the road closure process for the unnamed road reserve (PIN 1346974), as per section 58 of the *Land Administration Act 1997*.

In effect, the road closure is required to revert the land to unallocated Crown land, following which the land can then be reserved for the proposed purpose.

Accordingly, the proposed road closure has been advertised and Council's consideration is now sought to consider the submissions received, and pass a resolution to close the road as required under the *Land Administration Act 1997*. A copy of the proposed road closure plan as advertised is shown as Attachment 3.

### **STRATEGIC IMPLICATIONS**

There are no strategic implications associated with this item.

### **STATUTORY IMPLICATIONS**

In order to effect the road closure, it is a requirement under Section 58 of the *Land Administration Act 1997* (LAA) that the Local Government Authority advertises the

proposal for a period of 35 days, following which Council is required to consider any submissions prior to passing a resolution to close the road.

When the closure is finalised the land reverts to unallocated Crown land, which needs to occur before the land can be incorporated with the proposed reserve, and reserved in accordance with section 41 of the LAA.

### **POLICY IMPLICATIONS**

There are no policy implications associated with this item.

### **FINANCIAL IMPLICATIONS**

There are no financial implications associated with this item.

### **COMMUNITY CONSULTATION**

The proposed road closure was advertised in the Kimberley Echo on 24 March 2011 for a period of 35 days, closing on 29 April 2011, in line with the requirements of the *Land Administration Act 1997*. Notification letters were also sent to service agencies and adjoining landowners seeking their comment.

Two submissions were received, one from the Water Corporation advising that the proposed closure will not have any impacts on any Water Corporation owned or managed services or infrastructure, and the other from Horizon Power advising of no comments or objections. These submissions are provided as Attachment 4 to this report.

### **COMMENT**

The closure of the unnamed road reserve (PIN 1346974) will allow the rationalisation of boundaries to facilitate the reservation of the land adjacent to Foreshore Road, Wyndham for the purpose of 'Community Recreation and Marine Activities'.

This reserve is intended to incorporate the existing recreational boat ramp and the Wyndham Community Jetty which is currently under construction. Rationalisation of the land tenure in this vicinity is a requirement of the Wyndham Community Jetty project and will ensure adequate management of the facilities within the foreshore area.

To enable the proposed reservation to progress, the formal road closure process must first be instigated in order to revert the land to unallocated Crown land, which requires Council to advertise, and subject to no objections being received during the advertising period to then pass a resolution for the proposed road closure.

The proposed road closure has now been advertised, with no objections being received during the advertising period and therefore it is therefore recommended that Council resolve to close a 552m<sup>2</sup> area of unnamed road reserve (PIN 1346974), adjacent to Foreshore Road, Wyndham, in accordance with section 58 of the *Land Administration Act 1997*.

## **ATTACHMENTS**

Attachment 1 – Tenure Plan  
Attachment 2 – Proposed Reserve Plan  
Attachment 3 – Road Closure Plan  
Attachment 4 – Submissions

## **VOTING REQUIREMENT**

Simple Majority

## **OFFICER'S RECOMMENDATION**

That Council, in accordance with the *Land Administration Act 1997*, s. 58(1), resolves to close a 552m<sup>2</sup> area of unnamed road reserve (PIN 1346974), adjacent to Foreshore Road, Wyndham, and requests the Department of Regional Development and Lands to effect the road closure.

## **COUNCIL DECISION**

**Minute No. 9465**

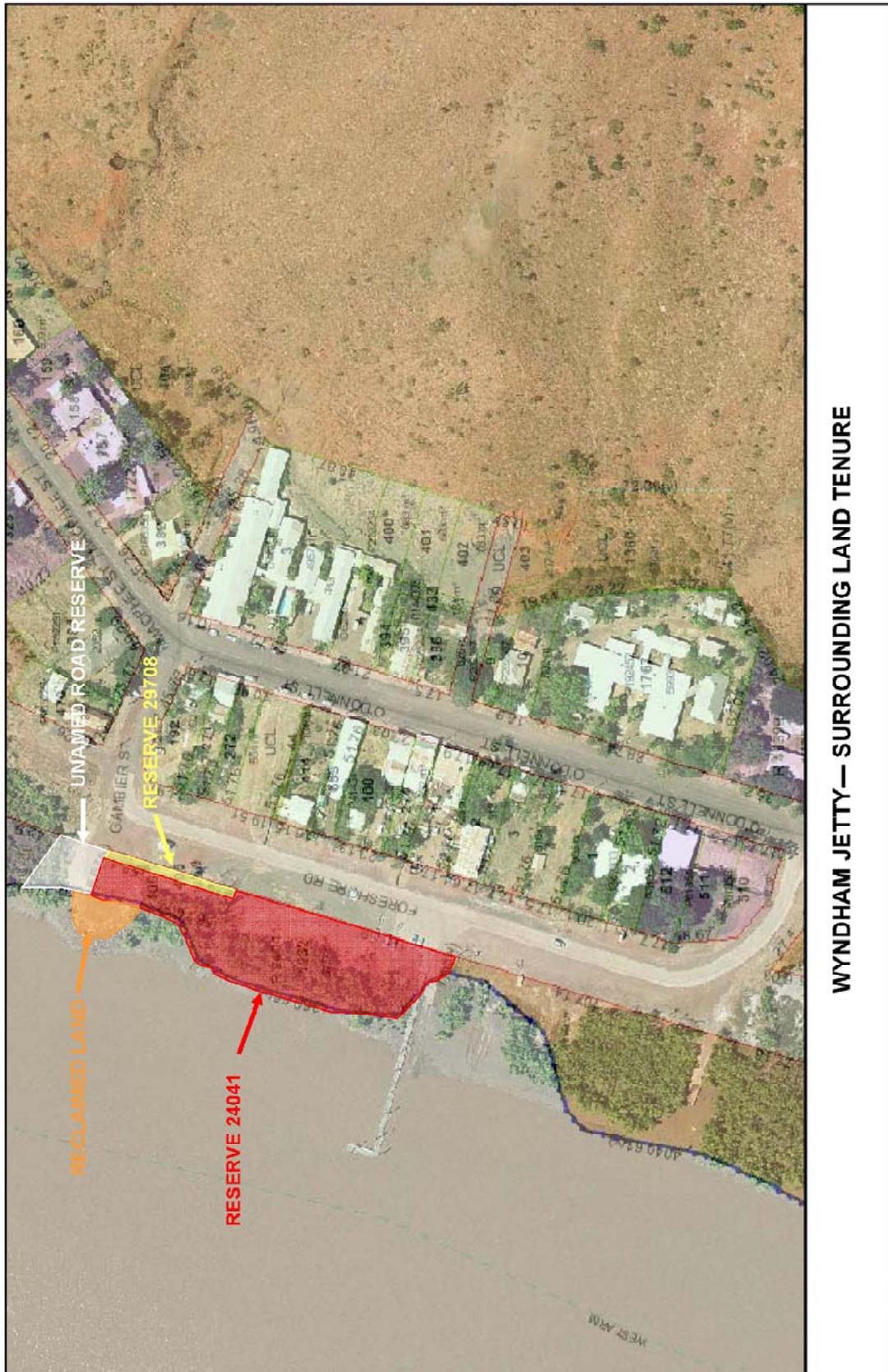
**Moved: Cr Torres**

**Seconded: Cr J Parker**

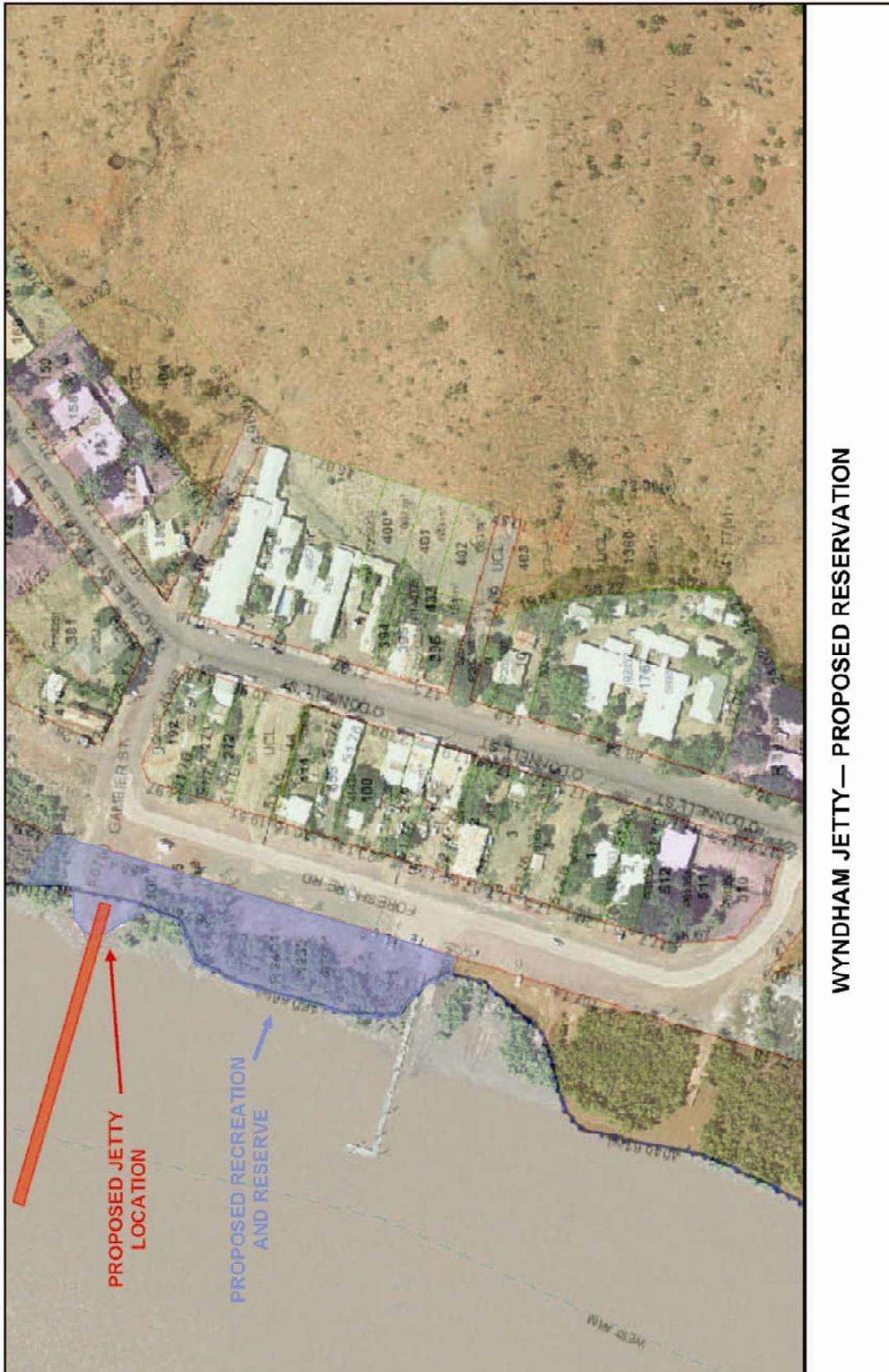
**That Council, in accordance with the Land Administration Act 1997, s. 58(1), resolves to close a 552m<sup>2</sup> area of unnamed road reserve (PIN 1346974), adjacent to Foreshore Road, Wyndham, and requests the Department of Regional Development and Lands to effect the road closure.**

**Carried Unanimously 9/0**

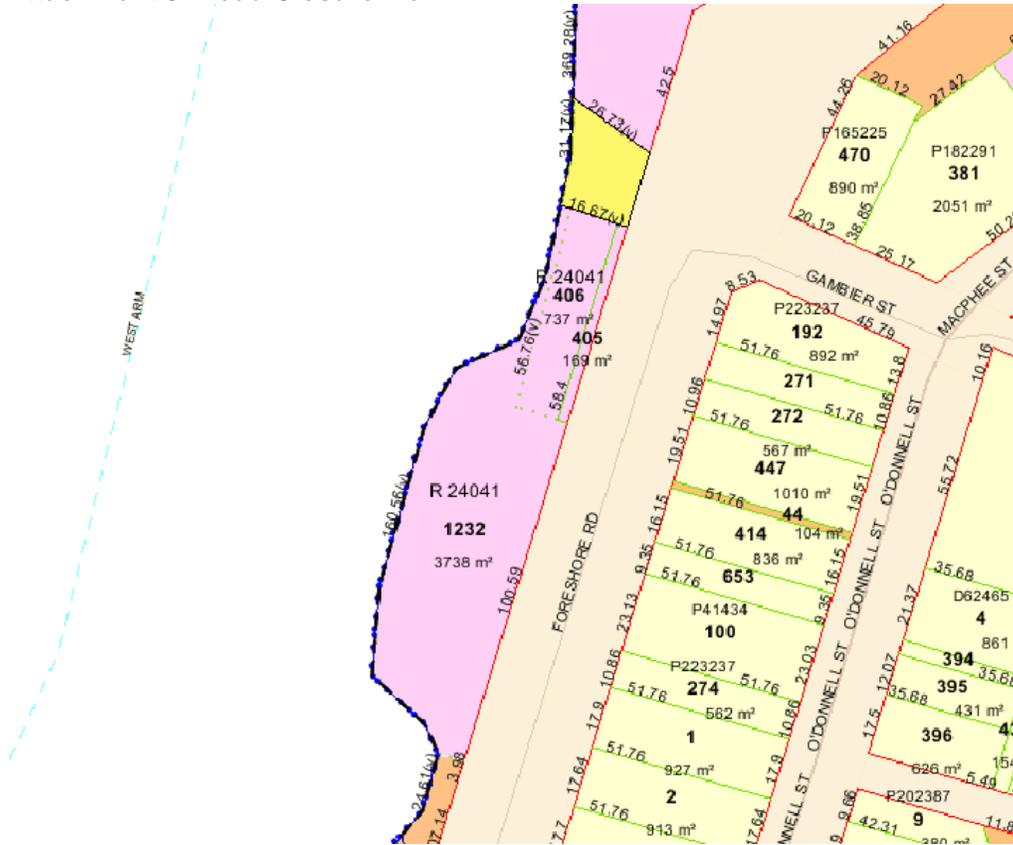
Attachment 1: Tenure Plan



Attachment 2: Proposed Reserve Plan



### Attachment 3: Road Closure Plan



**Attachment 4: Submissions**

power to you

1-7352

Your Ref: LP.02052:TP1927  
Enquiries: Leah Lees  
Telephone: (08) 6310 1911

06 APR 2011

18 Brodie Hall Drive  
Technology Park  
Bentley WA 6102  
PO Box 1066 Bentley DC WA 6983  
Telephone (08) 6310 1000  
Facsimile (08) 6310 1010  
www.horizonpower.com.au

31 March 2011

**Jennifer Ninnette**  
PO Box 614  
KUNUNURRA WA 6743



Dear Jennifer,

**PROPOSED ROAD CLOSURE – PORTION OF UNNAMED ROAD RESERVE  
ADJACENT FORESHORE ROAD WYNDHAM**

In response to your letter dated 24 March 2011 requesting comments on the above mentioned proposal, Horizon Power would like to inform you that we have no comments or objections.

Yours sincerely,

A handwritten signature in blue ink, appearing to read "Leah Lees", with a long horizontal flourish extending to the right.

**Leah Lees**  
**Customer Services Officer**  
**Shared Services**  
**HORIZON POWER**

Horizon Power ABN 57 955 011 697

1-7265

01 APR 2011



Your Ref: LP-02-53 : TP1927  
Our Ref: PM#4612995  
Enquiries: Joel McLure  
Telephone: 9195 5434

30 March 2011

Jennifer Ninycette  
Shire of Wyndham East Kimberley  
PO Box 614  
KUNUNURRA WA 6743

EAST KIMBERLEY DISTRICT  
599 Bandicoot Drive  
Kununurra 6743  
PO Box 21  
Kununurra 6743  
Tel (08) 9168 0752  
Fax (08) 9168 0700  
[www.watercorporation.com.au](http://www.watercorporation.com.au)

Dear Ms Ninycette,

Thank you for your letter of 24 March 2011 regarding PROPOSED ROAD CLOSURE – PORTION OF UNNAMED ROAD ADJACENT FORESHORE ROAD WYNDHAM.

The proposed closure will not have any impacts on any services or infrastructure owned or managed by the Water Corporation.

Yours sincerely

A handwritten signature in blue ink, appearing to be "Joel McLure", written over a horizontal line.

Joel McLure  
Area Manager Kimberley



### 12.4.3 Proposed Motel Development – Lot 722 Sharpe Street, Wyndham

<b>DATE:</b>	24 May 2011
<b>PROPONENT:</b>	Adfar Pty Ltd and Tudan Pty Ltd (Joint partners)
<b>LOCATION:</b>	Lot 722 Sharpe Street, Wyndham
<b>AUTHOR:</b>	Dean Pettit, Planning Officer
<b>REPORTING OFFICER:</b>	Nick Kearns, Director Development Services
<b>FILE NO:</b>	A298P
<b>ASSESSMENT NO:</b>	A298

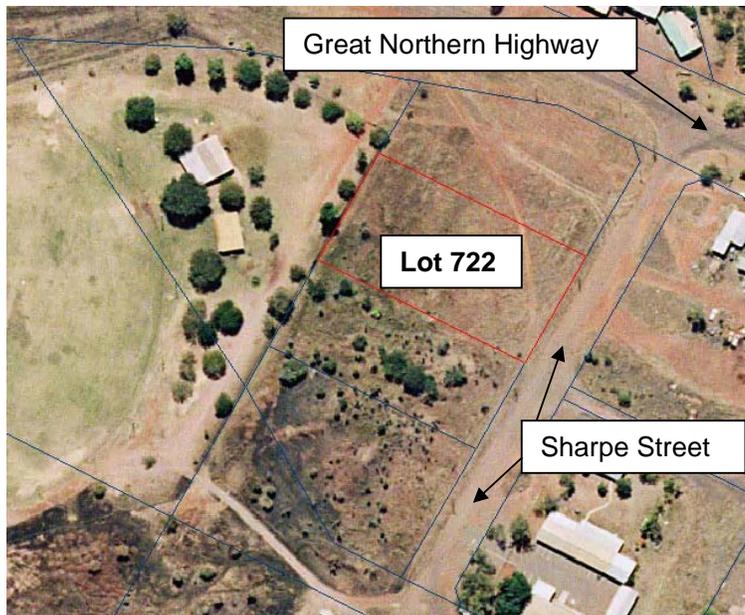
#### **PURPOSE**

For Council to consider an application for planning consent for a motel at Lot 722 Sharpe Street, Wyndham.

#### **BACKGROUND**

An application for planning consent was lodged on March 1 2011 for a motel at Lot 722 Sharpe Street, Wyndham. The proposal involves the construction of a 38 room motel, a restaurant and kitchen and associated car parking (refer to Attachment 1).

There are four lots on the northern side of Sharpe Street, with the proposal sitting on the second lot back from the corner of the Great Northern Highway. The land has an area of 4553m<sup>2</sup>.



*Location Map*

### Motel

The motel will be 'U' shaped around a recreational pool, 25 metre lap pool, gazebos, an outdoor spa, barbeque area and gardens. Balconies will be constructed on the majority of rooms and there will be two designated disabled rooms as well as one manager's residence unit and one staff unit.

### Restaurant

A small restaurant, which is an ancillary use, serviced by a kitchen will be constructed, which will include a conference room, office space and separate male and female toilets. The restaurant will run up to seven days a week (if required) to service guests and the general public and tour and coach groups for breakfast, buffet lunch and evening meals. The applicant has employed a catering consultant to design the internal layout of the restaurant.

### Parking and Access

There are 48 proposed on-site car parking spaces. Vehicle access to the site will be via a 6 metre wide access way which allows two-way vehicle movement entering and exiting.

### Landscaping

Landscaping to the internal garden and external (frontage and rear) areas will be provided using native flora.

### Drainage and Sewerage

Drainage will be contained within the pervious areas of the site and the majority within an underground water retention tank. Remaining water will be channelled into a natural swale at the south-western lot boundary. The Shire has been in discussion with the applicant on this matter and drainage plans and calculations have been submitted to the Shire's Infrastructure Department. Water stored in the retention tanks will be used to irrigate landscaped areas.

At present, the site is not connected to underground sewerage. For this to occur an underground reticulated sewerage system must be constructed. The applicant has proposed to collect sewerage in an underground tank on the north-western boundary, and then pump the sewerage through the Shire reserve (adjoining land), into the sewerage main over the road (Great Northern Highway). Although this will require the sewerage piping to run through the Shire reserve, this will allow the Shire to connect the ablution block on Wyndham Oval to the sewerage main. The Shire's Infrastructure Department is satisfied with the sewerage plans for this development. The applicant has also consulted the Water Corp regarding their proposal and they will be engaged further once planning approval is granted.

### General

The applicant has stated, if approved, this development would bring potential economic and social benefits including employment (through construction and operation), education (through the provision of onsite TAFE training courses; landscaping and hospitality) and tourism.

## **STRATEGIC IMPLICATIONS**

There are no strategic implications associated with this item.

## **STATUTORY IMPLICATIONS**

The land is zoned *Special Site – Motel* under Town Planning Scheme No. 6 – Wyndham Townsite. As per its AA use, development provisions are to be determined by Council and address the following:

Car parking provisions require a minimum of one space per motel bedroom and one space per 25m<sup>2</sup> gross floor area of service building. Car parking spaces are also required for the manager's residence, staff unit and office, for a total of 53 spaces.

Under the Town Planning Scheme car parking dimensions are required to adhere to Australian Standards. *AS/NZS 2890.1:2004: Off-street Car Parking Facilities* which lists a Motel under *User Class 2*. Under this class, minimum dimensions for a 90 degree car parking space are 2500mm wide by 5400mm in length. However the Shire is able to request larger spaces in consideration of there being predominately larger vehicles.

The minimum site area for a motel is listed as 2500 square metres with a minimum frontage of 40 metres, and front and rear setbacks of 10 metres.

Clause 5.3 of the Town Planning Scheme allows Council to approve concessions to the above if it meets the following:

- a. approval of the proposed development would be consistent with the orderly and proper planning of the locality and preservation of the amenities of the locality;
- b. the non-compliance will not have any adverse effect upon the occupiers or users of the development or the inhabitants of the locality or upon the likely future development of the locality; and
- c. the spirit and purpose of the requirement or standard will not be unreasonably departed from thereby.

## **POLICY IMPLICATIONS**

There are no policy implications associated with this item.

## **FINANCIAL IMPLICATIONS**

There are no financial implications associated with this item. All fees have been paid by the applicant.

## **COMMUNITY CONSULTATION**

The proposal was advertised to adjoining properties and no submissions were received.

## **COMMENT**

The proposal meets the provisions of the Town Planning Scheme as they relate to the allowable uses and the minimum dimensions for the land. The minor reduction in on site parking raises no negative issues, although revised plans would be required to show all car parking spaces and bus spaces that meet the Australian standard. Nevertheless, the Shire may require wider car parking spaces – to 2.8

metres wide, subject to resolving the best internal car parking and bus parking layout.

The minor variations to setbacks are considered acceptable given that no submissions were received from surrounding land owners and that much of the adjoining land is undeveloped.

The drainage method proposed has been reviewed by the Shire's Infrastructure Department, which has not raised any issues of concern. The proposed treatment of sewerage is also considered acceptable – noting that the Shire will benefit from the extension of the reticulated sewerage to serve the ablution block on the adjoining oval.

Additional works will be required in Sharpe Street – to extend the pavement seal and for new vehicle crossings. Additional plans and specifications will need to be lodged to ensure that these works meet Shire specifications and any relevant Australian Standards.

The applicant has agreed to include additional front and rear landscaping in addition to contributing to works within the roadway. The additional landscaping is required to screen the rear of the building to the Great Northern Highway – for south travelling vehicles.

Details will be required to show bin enclosure areas as well as a waste management plan to describe how waste will be stored and collected, including collection times.

The proposal is able to meet requirements for the purpose of obtaining all relevant environmental health approvals, for both the accommodation and restaurant.

The application is recommended for approval.

### **ATTACHMENTS**

Attachment 1 – Planning Report  
Attachment 2 – Site and Elevation Plans  
Attachment 3 – Drainage Plans

### **VOTING REQUIREMENT**

Simple Majority

### **OFFICER'S RECOMMENDATION**

That Council grants planning consent for the use and development of Lot 722 Sharpe Street, Wyndham for a Motel subject to the following conditions:

1. Revised plans must be submitted and approved by the Shire. When approved the plans will be endorsed and form part of the approval. The plans must be drawn to scale (three copies), be in line with the plans submitted with the application, but be modified to show:
  - a. On-site car and bus parking spaces to meet Australian Standard 2890 (this may involve the widening of car spaces to a width of 2.8 metres);

- b. Upgrades and extension to the pavement seal on Sharpe Street, including new vehicle crossings;
  - c. Pedestrian movements on Sharpe Street; and
  - d. Bin enclosure areas.
2. Location of access points (crossovers) from Sharpe Street must be designed in accordance with Austroads guidelines and Australian Standards. An application to the Shire's Infrastructure Department must be made.
3. All parking areas, loading docks, delivery and collection areas and internal road systems must comply with the current requirements of Australian Standards AS 2890. As such, all vehicle access and car parking areas must be sealed, drained, marked and designed to allow vehicles to enter and leave the site in a forward direction. Individual car parking spaces must be designated on the car park surface by minimum 80mm wide white or yellow painted lines, or other means considered appropriate by Council.
4. Sewerage for the development must be collected in an underground tank on the north-western boundary of the land, and then pumped through the Shire reserve (adjoining land) and connected to the main sewerage line over the road (Great Northern Highway).
5. Drainage must be collected onsite in stormwater retention tanks (majority) and remaining water to be channelled to the swale at the south-western boundary.
6. Landscaping and treatments to the elevation should ensure the development presents well to the streets, as well as providing reasonable amenity for the development. A landscape plan must be submitted in conjunction with the building licence application. Additional landscaping or screening to the rear of the lot must also be provided, to screen the rear view when travelling south, passing Sharpe Street on Great Northern Highway.
7. Submit a Waste Management Plan showing how waste will be stored and disposed of, including collection times.
8. All loading and unloading must be conducted within the site.
9. Upgrades to Sharpe Street adjoining the land, including extension of the pavement seal, kerbing and consideration for pedestrian movements, in line with the plans approved at Condition 1, and in line with detailed specifications approved by the Shire's Infrastructure Department.
10. Provision of appropriate signs advising of access and egress with directions on both sides of each sign and; painted directional arrows on the pavement surface.
11. Obtain separate Council approval for the erection of any advertising signs.

## **COUNCIL DECISION**

**Minute No. 9466**

**Moved: Cr D Ausburn  
Seconded: Cr K Wright**

**That Council grants planning consent for the use and development of Lot 722 Sharpe Street, Wyndham for a Motel subject to the following conditions:**

- 1. Revised plans must be submitted and approved by the Shire. When approved the plans will be endorsed and form part of the approval. The plans must be drawn to scale (three copies), be in line with the plans submitted with the application, but be modified to show:
  - e. On-site car and bus parking spaces to meet Australian Standard 2890 (this may involve the widening of car spaces to a width of 2.8 metres);**
  - f. Upgrades and extension to the pavement seal on Sharpe Street, including new vehicle crossings;**
  - g. Pedestrian movements on Sharpe Street; and**
  - h. Bin enclosure areas.****
- 1. Location of access points (crossovers) from Sharpe Street must be designed in accordance with Austroads guidelines and Australian Standards. An application to the Shire's Infrastructure Department must be made.**
- 2. All parking areas, loading docks, delivery and collection areas and internal road systems must comply with the current requirements of Australian Standards AS 2890. As such, all vehicle access and car parking areas must be sealed, drained, marked and designed to allow vehicles to enter and leave the site in a forward direction. Individual car parking spaces must be designated on the car park surface by minimum 80mm wide white or yellow painted lines, or other means considered appropriate by Council.**
- 3. Sewerage for the development must be collected in an underground tank on the north-western boundary of the land, and then pumped through the Shire reserve (adjoining land) and connected to the main sewerage line over the road (Great Northern Highway).**
- 4. Drainage must be collected onsite in stormwater retention tanks (majority) and remaining water to be channelled to the swale at the south-western boundary.**
- 5. Landscaping and treatments to the elevation should ensure the development presents well to the streets, as well as providing reasonable amenity for the development. A landscape plan must be submitted in conjunction with the building licence application. Additional landscaping or screening to the rear of the lot must also be provided, to screen the rear view when travelling south, passing Sharpe Street on Great Northern Highway.**

- 6. Submit a Waste Management Plan showing how waste will be stored and disposed of, including collection times.**
- 7. All loading and unloading must be conducted within the site.**
- 8. Upgrades to Sharpe Street adjoining the land, including extension of the pavement seal, kerbing and consideration for pedestrian movements, in line with the plans approved at Condition 1, and in line with detailed specifications approved by the Shire's Infrastructure Department.**
- 9. Provision of appropriate signs advising of access and egress with directions on both sides of each sign and; painted directional arrows on the pavement surface.**
- 10. Obtain separate Council approval for the erection of any advertising signs.**

**Carried Unanimously 9/0**

**Attachment 1: Planning Report**

**Proposed New 38 Room Motel  
9 Sharpe Street  
Wyndham 6740**

**Planning Report**



**Aerial photo of site plan**  
(Google maps).

**prepared by  
MKEA Architects P/L**

**Job No MA1165**

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## **INTRODUCTION**

Joint partners Adfar Pty Ltd and Tudan Pty Ltd, propose to construct a 38 room Motel, with associated restaurant and manager's residence, at 9 Sharpe Street Wyndham, to accommodate an increasing number of visitors and workers involved in expanding industries throughout the region.

This report accompanies a development application to construct a 38 room Motel on Lot 722 Wyndham WA and addresses the statutory requirements of Shire of Wyndham East Kimberly- Town planning Scheme No 6 (TPS 6), describes the subject site, and provides an overview of the planning regulatory framework and commentary on other development related issues. Dimensioned development plans are provided.

A copy of the 'title' document and survey plan is attached as part of this application.

The site is one lot back from the corner of Savannah Way and Sharpe Street Wyndham, and under the Shire of Wyndham East Kimberly- Town planning Scheme No 6 (TPS 6) this is zoned Special Site- Motel.

Included in this report are plans and elevation to show construction and height proposals as well as circulation and proximities to ensure compliance with the guideline requirements of the Wyndham Planning Scheme.

## **SUBJECT SITE**

The subject land is located at Lot 722 Sharpe Road Wyndham WA. It is a rectangular shaped lot with a total area of 4500 sq metres. The site is clear of vegetation and has a fall to the west across and to the rear of the site of approximately 1.3-1.5 metres.

## **PROPOSAL**

This application covers the construction of a 38 room motel, with associated reception and toilet facilities, a small restaurant and breakfast serving area, a conference room/ meeting room, and includes two separate accommodation units, one for the manager and family and a smaller unit for selected staff.

The site is rectangular in shape, 90.51m x 50.29m wide, with the site falling to the rear approximately 1.5 metres to an adjoining oval and community open space play area.

The plan utilises the natural fall of the land to accommodate car parking to the rear of the site, with motel rooms constructed over these lower car parks at approximately the same level as the other ground floor motel units.

The motel units on the south eastern side will have views to the distant Coburn Ranges, and the units on the western end of the site will also have views over the adjoining sports field with angled views to the Ranges. All motel units have access to car parking provided by a single road off Sharpe Street that runs down the site on the northern side and to the rear of the site.

The remaining units are located in two levels running down the site with car parking at ground level immediately adjacent to the ground floor units.

Stairs connect the lower car parks to the western end of the site to the ground floor verandahs and walkways.

A laundry and store for the motel are located in the western corner of the lower car park.

The entry to the motel from Sharpe Street is under a 'porte cochere' canopy that will provide sheltered cover for loading and unloading of buses and high loaded vehicles. Overnight bus parking is also provided under the porte cochere. The undercover entry leads to a reception and administration area, with toilet facilities for patrons to the motel and to the adjoining restaurant and meeting/conference room. Both these rooms are serviced by an adjoining kitchen, with external access to a deck that overlooks the distant views and the motel pool and gardens.

The manager's residence and the staff accommodation units are located above the reception and restaurant areas, and are each served by stairs that connect to the motel units, kitchen and manager's car park respectively.

Extra car parking is provided for the public attending the restaurant and there are two under-cover dedicated car parks attached to the manager's residence.

The kitchen is located to the western side of the development and is serviced from the front of the site through a service gate and yard, which also allows access for landscape and general service maintenance.

### **PLANNING ISSUES**

Under the Shire of Wyndham East Kimberly- Town Planning Scheme No 6 (TPS 6), Lot 722 is zoned Special Site- Motel. TPS 6 stipulates that for land use for motel development the minimum lot area required is 2500m<sup>2</sup>, and the minimum frontage required is 40 metres. The TPS also denotes minimum front and rear setbacks of 10 metres.

Lot 722 has an area of 4552 m<sup>2</sup> and a frontage of 50.29m.

### **BUILDING DESIGN CONSIDERATIONS**

The façade of the administration/ restaurant building and the motel units is articulated with different materials, and the horizontal lines of the balconies and window awnings. The colours are muted matte off-white and sandstone to merge with the native vegetation and to provide a 'tropical' feel to the development. Roof slopes are 25 degrees and balconies to the front administration building are covered in openable painted louvres doors. Local rock is also used for some retaining walls and for the base of columns to the 'porte cochere'.

The motel units and the front administration and managers residence form a 'U' shape plan surrounding a central courtyard that is to include shade covered outdoor dining and relaxation areas and a pool with views to the south west and the Coburn Ranges.

### **VEHICLE PARKING –PARKING REQUIREMENTS**

#### **ROAD ACCESS**

Access and egress from the site will be via two crossovers from Sharpe Street allowing drive through access for buses and vehicles under the porte cochere to the entry and then to the motel rooms down the site. A 6 metre wide driveway and

service road provides for two-way vehicle movement through the site and to the rear car parks at the lower level.

### **CAR PARKING**

Shire car parking requirements are for 1 car per 2 motel units, and 1 car per 4 seats in the restaurant.

The proposal accommodates a total of 48 cars on site, 38 parks for the 38 rooms, including extra parallel parking for larger cars along the northern boundary. There are also 5 dedicated parks for restaurant patrons, and two dedicated parks associated with the manager's residence.

Servicing the complex is available through the front car park through a service yard adjacent to the kitchen to the south of the site.

### **GENERAL HEIGHT CONTROL**

The plot area is 2:1 with a height control limit based on merit.

The development covers three levels in two sections of two storeys and the maximum height of the development is 9.5 m at the front reception building.

### **SERVICES**

Kitchen facilities will be designed in association with a catering consultant. Grease traps, sewerage and stormwater design will all be designed in accordance with local council and state government regulations and requirements. Once construction is completed the road network gradients will have been designed so that the stormwater will be channelled into a culvert in the south west corner of the site to ultimately discharge into the natural swale at the end of the site.

Electrical supply will be coordinated through power from a pole top transformer via underground service to a pad mounted transformer to be provisionally located in the northeast corner of the site.

### **SEWERAGE**

Waste water will be collected and disposed to the underground sewerage treatment tanks located in the north western corner of the site. A separate packaged pumping station is co-located with this tank, to pump treated waste to the Watercorp inspection chamber on the Great Northern highway.

### **EROSION AND SEDIMENTATION**

A Construction Environmental Management Plan will be prepared that contains erosion and sedimentation mitigation measures which will be undertaken to deal with stormwater runoff and drainage during construction.

Approximately a quarter of the site will not be built on and will be permeable to the ingress of rainfall.

The new buildings can be serviced by the existing infrastructure and the proposed new sewerage treatment system.

### **BUILDING SETBACKS**

There is a 10 metre set back to the front of the site, providing a landscaped front drive-through area under the 'porte-cochere'. A 6 metre setback to the rear of the

site will be used as driveway access to the rear car parks. The motel units constructed over this lower car park are set at approximately the ground level of the higher section of the site. On the northern boundary, the motel units are setback 16.5 metres. This provides for the main access road to the rear of the site and for the car parks adjacent the ground floor motel units along the northern boundary. This boundary will also be landscaped with shrubs and bushes and will provide parking for longer or wider vehicles.

The central section of the motel is effectively the open section of the 'U' shaped plan, and is open to maintain views to the distant ranges.

### **LANDSCAPING FOR MOTEL**

The area proposed for the new buildings is previously cleared land. There is no native vegetation on the site.

A landscaped section of the site is proposed along the street frontage between the vehicle entry and exit points, and the eastern boundary is planned to have screening plants and shrubs. The rear site will be fenced only and should provide clear view of the adjoining oval and open space areas. The central recreational area is to be landscaped with shade palms and trees, and covered with grassed areas and paving. The immediate area around the proposed residences is to be landscaped with lawned areas and areas of low planting and higher palm and shade trees.

A full landscaping plan will be prepared as part of the contract documentation.

### **BUILDING DESIGN**

The proposed motel is to be constructed in lightweight steel framing with a combination of external claddings chosen for their texture and appearance. Roof slopes are generally 15-20 degrees in keeping with the tropical aesthetics feel of the project. Fire ratings between motel rooms will be achieved using proprietary fire rated systems. Further, the buildings will have the following features:

- The buildings align with the boundaries, approximately facing both NS and EW and are protected from sun entry by verandahs, overhangs and covered balconies and rear sunshades.
- The facades are modulated and vary with different materials and selected colours.
- Roofs will be light coloured colorbond steel with pitches appropriate for the tropical style of architecture.
- air-conditioning equipment to the administration and restaurant areas are concealed behind timber slatted screens, and AC units to each motel room are individually screened.
- The units have their entries adjacent the wet areas, allowing the full width of each unit to be used for the bedroom area.
- The designs will comply with the current BCA with regard to sound transmission between individual living units, bathrooms and living areas
- They have the option of openable windows or air-conditioning and will allow breeze penetration and circulation through the rooms
- Externally, materials have minimal reflective surfaces
- Two motel units will be disabled accessible (Units 1 and 2) exceeding the minimum requirement under the provisions of the BCA. Two car parks for disabled patrons are located adjacent to these units.

## **FIRE PROTECTION**

The road layout has been designed to ensure that emergency vehicles can access the site and manoeuvre within the site. Preliminary plans have been endorsed by FESA (Fire and Emergency Services) and will be fully approved as part of final contractual drawings.

## **LOCAL EMPLOYMENT**

A building project of this size will utilise local tradespersons and will provide support for local business. When completed it will be a significant generator of local employment, for gardeners, maintenance staff, cleaners, cooks and waiting staff. Also, the local TAFE College is due to start a hospitality course in 2011, and the motel will be ideal for employment for local people in the hospitality trades and possibly for periods of on-site training throughout the course.

## **CONCLUSION**

We believe that a development permit can be granted under the Shire of Wyndham East Kimberly- Town Planning Scheme No 6 (TPS 6) for the following reasons:

- The proposed development is consistent with the relevant matters of the Shire of Wyndham East Kimberly- Town Planning Scheme No 6 (TPS 6)
- The site is not subject to any interim development control orders;
- There are no environment protection objectives relevant to the site or development;
- The development does not require the preparation of any environmental reports or impact statements;
- The site is capable of supporting the development;
- The proposed density of the development is considered consistent with the envisaged amenity of the area, taking into account the existing zoning and potential built form of surrounding land;
- The proposed development of the 38 unit motel complies with the requirements of the Wyndham Planning Scheme TPS 6. The zoning specifically provides for this type of facility on this particular site, and the proposal is consistent with community experience and expectations.

The proposal is recommended for planning approval.

Attachment 2: Site and Elevation Plans

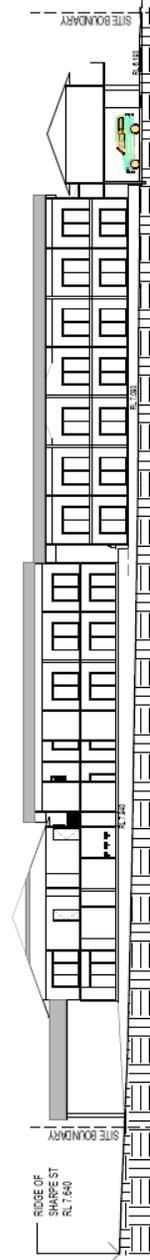
# WYNDHAM MOTEL SHARPE ST. WYNDHAM, WA

DRAWING LIST	
Sheet Number	Sheet Name
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A01	LOCALITY/SITE PLAN & SECTION
A02	SITE PLAN-LOWER LEVEL
A03	SITE PLAN GROUND FLOOR LEVEL
A04	SITE PLAN-FIRST FLOOR LEVEL
A05	GROUND FLOOR PLAN-RECEPTION & RESTAURANT
A06	FIRST FLOOR PLAN APARTMENTS
A07	FLOOR PLAN MOTEL ROOM LAYOUTS
A08	ELEVATIONS
A09	ELEVATIONS
A10	ROOF PLAN

CONSULTANTS:		C. Design (D) NOT SCALE OFF THIS DRAWING Check all references for compliance in 2011 Act		ARCHITECTURE		DRAWING LIST		Scale: A3 (300mm)		Sheet: SHEET 1 of 1	
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MECHANICAL:				mke		WYNDHAM, WA		MALL165-A00			
No		Issue / Revision		1000 Riverside Bay Drive Stuart, QLD 4207 Tel: 07 5591 2200 Fax: 07 5591 2211		ARCHITECTS					
				NOT FOR CONSTRUCTION							



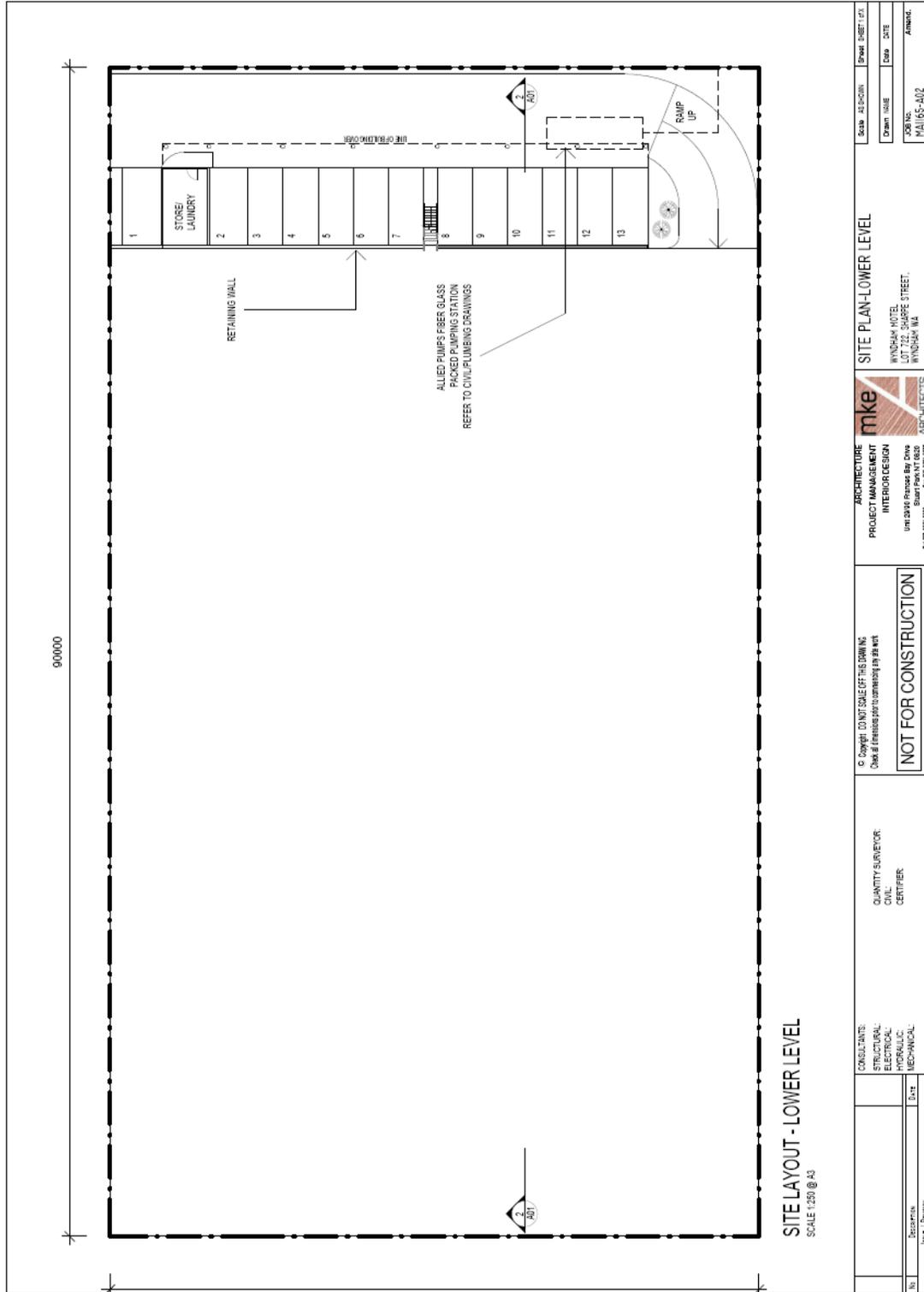
ARIAL SITE PLAN  
(GOOGLE MAPS)



SITE SECTION  
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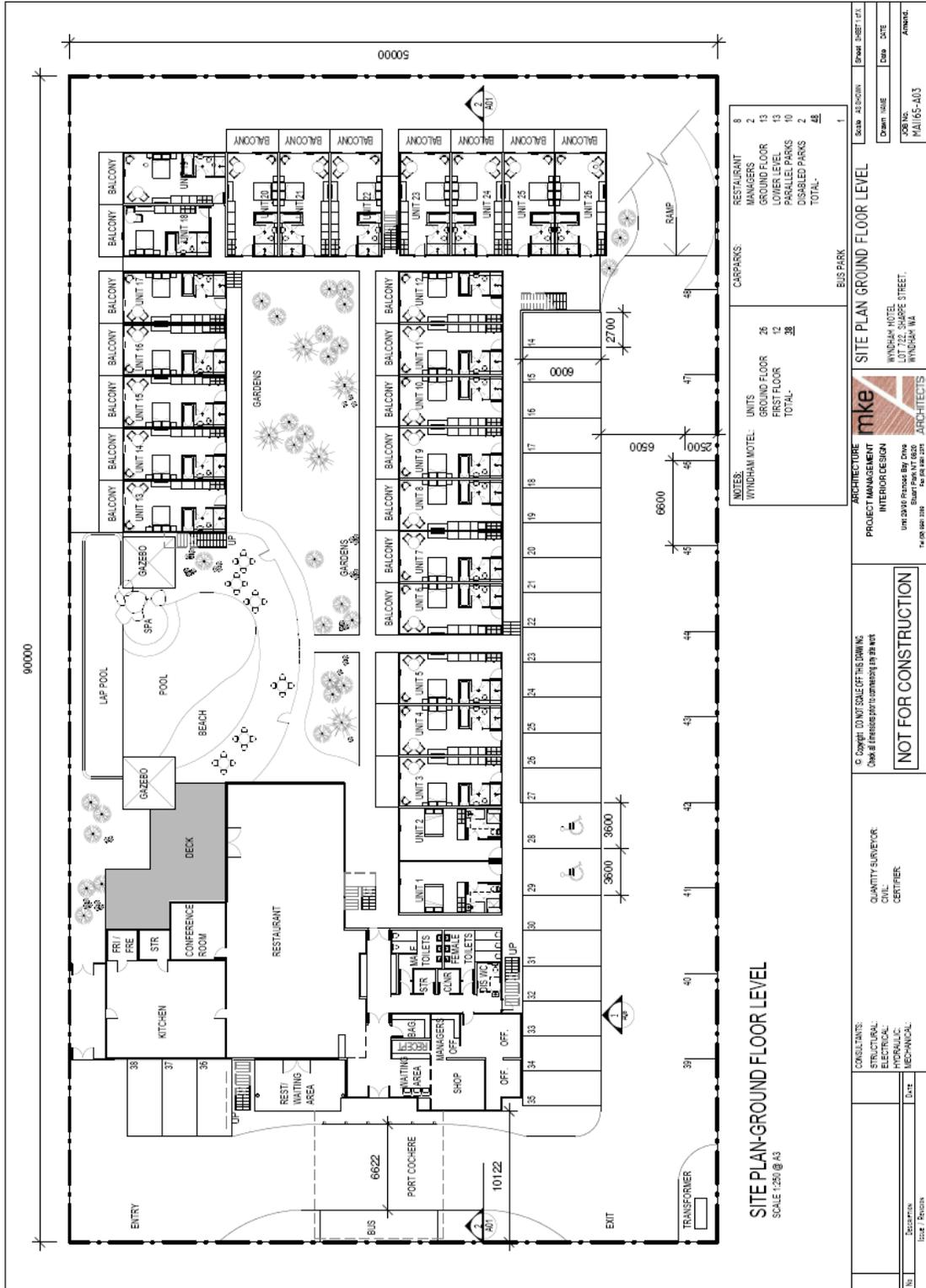
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STRUCTURAL		PROJECT MANAGEMENT		AS SHOWN		OF 12 SHEETS	
ELECTRICAL		INTERIOR DESIGN		DATE		DATE	
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DATE		ARCHITECTS		LOCALITY/SITE PLAN & SECTION			
BY		PROJECT NO.		WINDHAM HOTEL			
CHECKED		DATE		LOT 722, SHARPE STREET,			
DATE		JOB NO.		WINDHAM, VA			
DATE		JOB NO.		MAI(05-40)			
DATE		JOB NO.		ATTACHED			

NOT FOR CONSTRUCTION



**SITE LAYOUT - LOWER LEVEL**  
SCALE 1:250 @ A3

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<b>RESTAURANT</b>	8
MANAGERS	2
GROUND FLOOR	13
UPPER LEVELS	13
DISABLED PARKS	0
DISABLED PARKS	2
<b>TOTAL</b>	<b>48</b>

<b>CARPARKS</b>	
UNITS	26
GROUND FLOOR	12
FIRST FLOOR	14
<b>TOTAL</b>	<b>26</b>

<b>NOTES:</b>	
WINDHAM MOTEL	

<b>ARCHITECTURE</b>	
PROJECT MANAGEMENT	
INTERIOR DESIGN	
Unit 2010 Prince Bay Drive	
Shaw Parkway East	
1st Floor 2010	
10/10/2011	

<b>ARCHITECTS</b>	
WINDHAM MOTEL	
LOT 712, SHARPE STREET,	
WINDHAM, WA	

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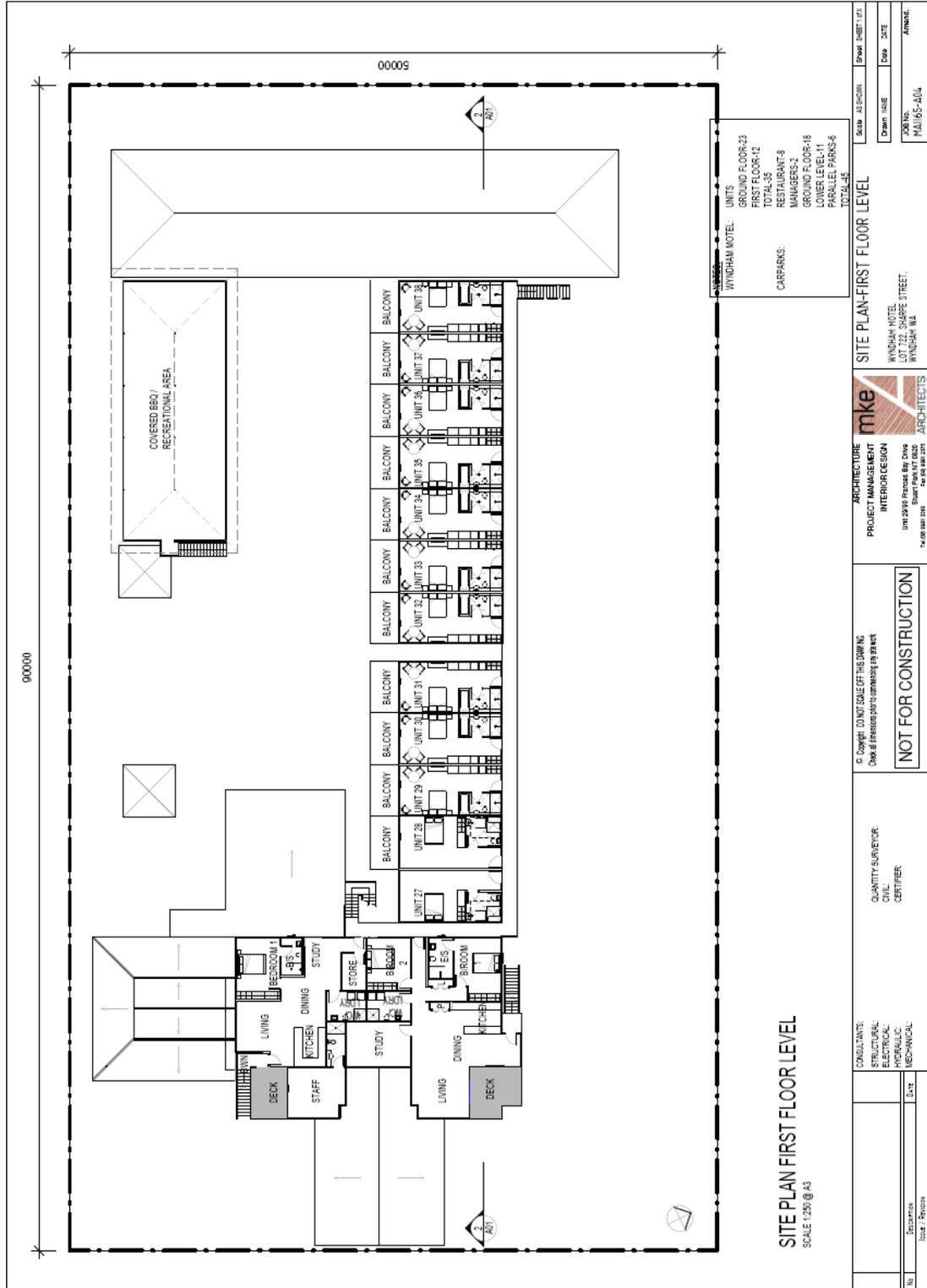
<b>SITE PLAN-GROUND FLOOR LEVEL</b>	
WINDHAM MOTEL	
LOT 712, SHARPE STREET,	
WINDHAM, WA	

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CONSULTANTS:	QUANTITY SURVEYOR:
STRUCTURAL	CIVIL
ELECTRICAL	CERTIFIER
MECHANICAL	



**SITE PLAN FIRST FLOOR LEVEL**  
SCALE 1:250 @ A3

**WYNDHAM MOTEL**  
UNITS  
GROUND FLOOR-23  
FIRST FLOOR-12  
TOTAL-35  
RESTAURANT-8  
MANAGERS-2  
GROUND FLOOR-18  
LOWER LEVEL-11  
PARALLEL PARKS-6  
TOTAL-45

**CARPARKS:**

**SITE PLAN-FIRST FLOOR LEVEL**

WYNDHAM HOTEL  
LOT 722, SQUARE STREET,  
WYNDHAM WA

**ARCHITECTURE**  
**mke**  
PROJECT MANAGEMENT  
INTERIOR DESIGN  
Unit 20/10 Forrest Bay Drive  
Sharn Point WA 6250  
Tel: 08 9438 1000 Fax: 08 9438 1001

**NOT FOR CONSTRUCTION**

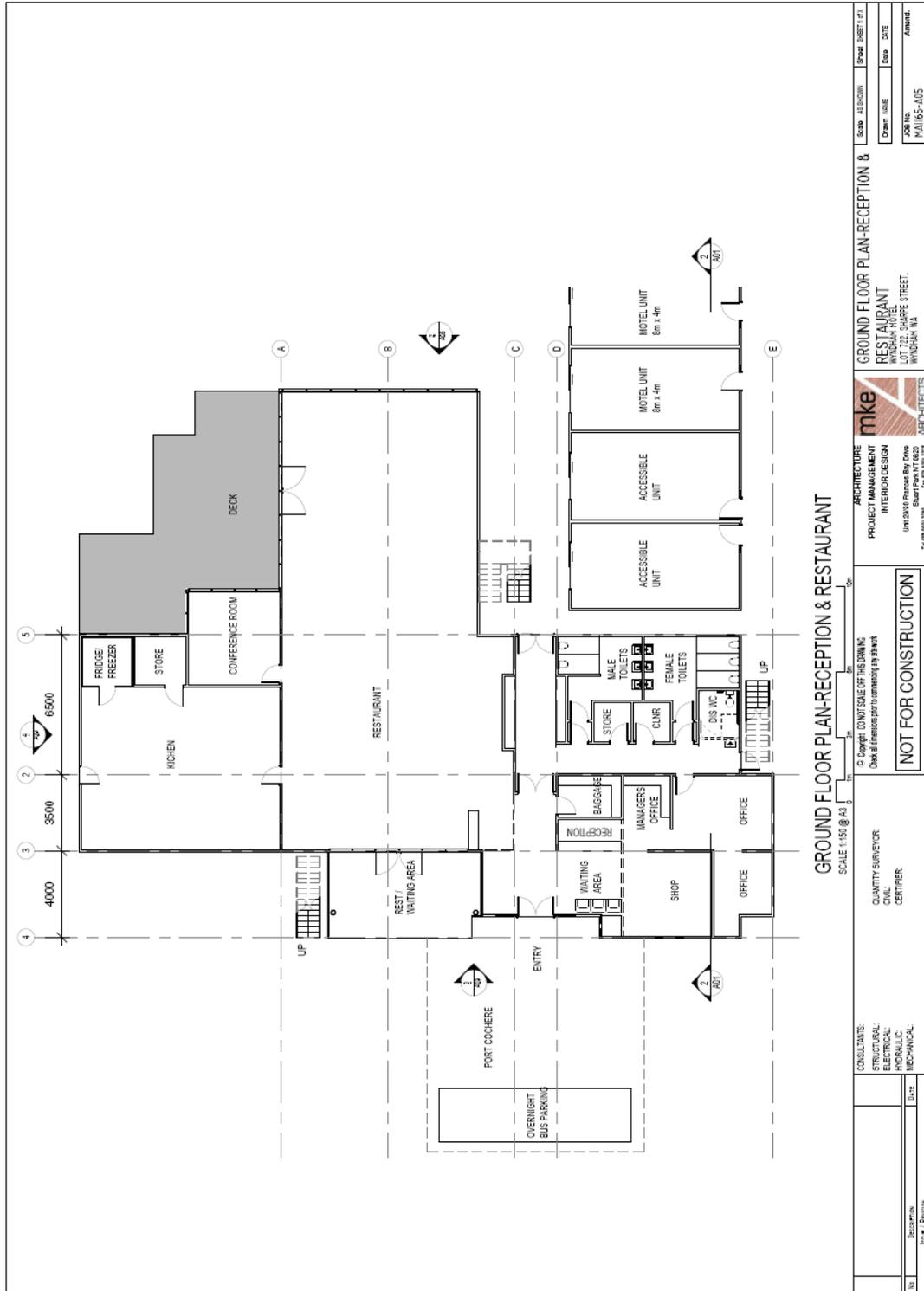
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QUANTITY SURVEYOR  
CIVIL  
CERTIFIER

CONSULTANTS:  
STRUCTURAL  
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MECHANICAL

NO.	Revisions	DATE

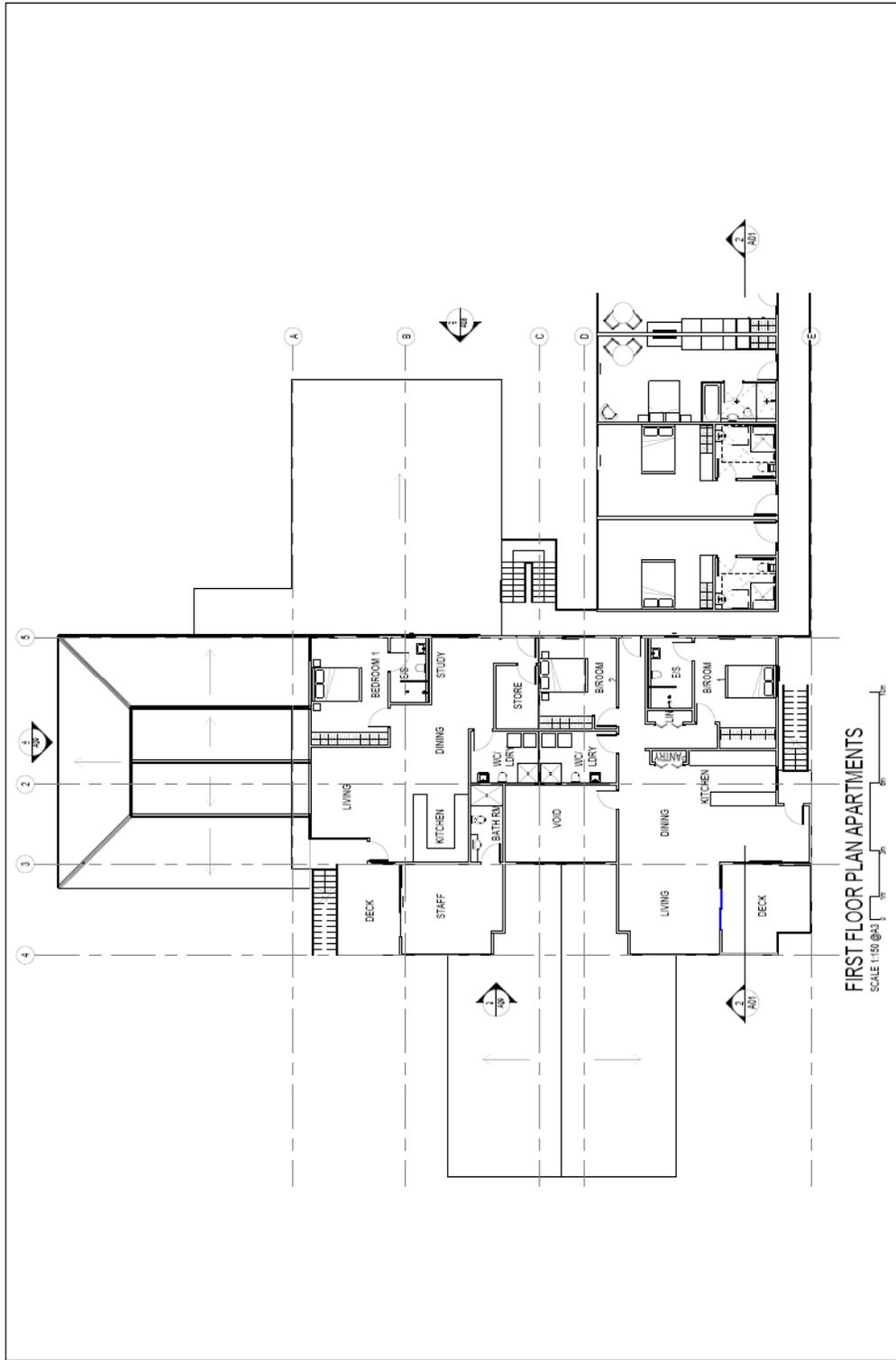
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Job No.	MA1165-AJ04	Author	Author



**GROUND FLOOR PLAN-RECEPTION & RESTAURANT**

SCALE 1:100 @ A3

CONSULTANTS: STRUCTURAL: ELECTRICAL: MECHANICAL: CIVIL: ARCHITECTURAL:		QUANTITY SURVEYOR: CIVIL: ARCHITECTURAL:		ARCHITECTURE <b>mke</b> PROJECT MANAGEMENT INTERIOR DESIGN 10m 23/31 Paradise Bay Drive Smart Park NT 0820 Tel: 08 826 3333 Fax: 08 826 3334		ARCHITECTS <b>mke</b> RESTAURANT WYOMALA HOTEL LOT 722, SHARPE STREET, WINDHRAV WA		Scale: AS SHOWN Drawn: [ ] Date: [ ] Job No.: MA165-A05 Sheet: [ ] of [ ]	
© Copyright. DO NOT SCALE OFF THIS DRAWING. Check all dimensions prior to commencing any work.		NOT FOR CONSTRUCTION		ARCHITECTURE <b>mke</b> PROJECT MANAGEMENT INTERIOR DESIGN 10m 23/31 Paradise Bay Drive Smart Park NT 0820 Tel: 08 826 3333 Fax: 08 826 3334		ARCHITECTS <b>mke</b> RESTAURANT WYOMALA HOTEL LOT 722, SHARPE STREET, WINDHRAV WA		Scale: AS SHOWN Drawn: [ ] Date: [ ] Job No.: MA165-A05 Sheet: [ ] of [ ]	



**FIRST FLOOR PLAN APARTMENTS**  
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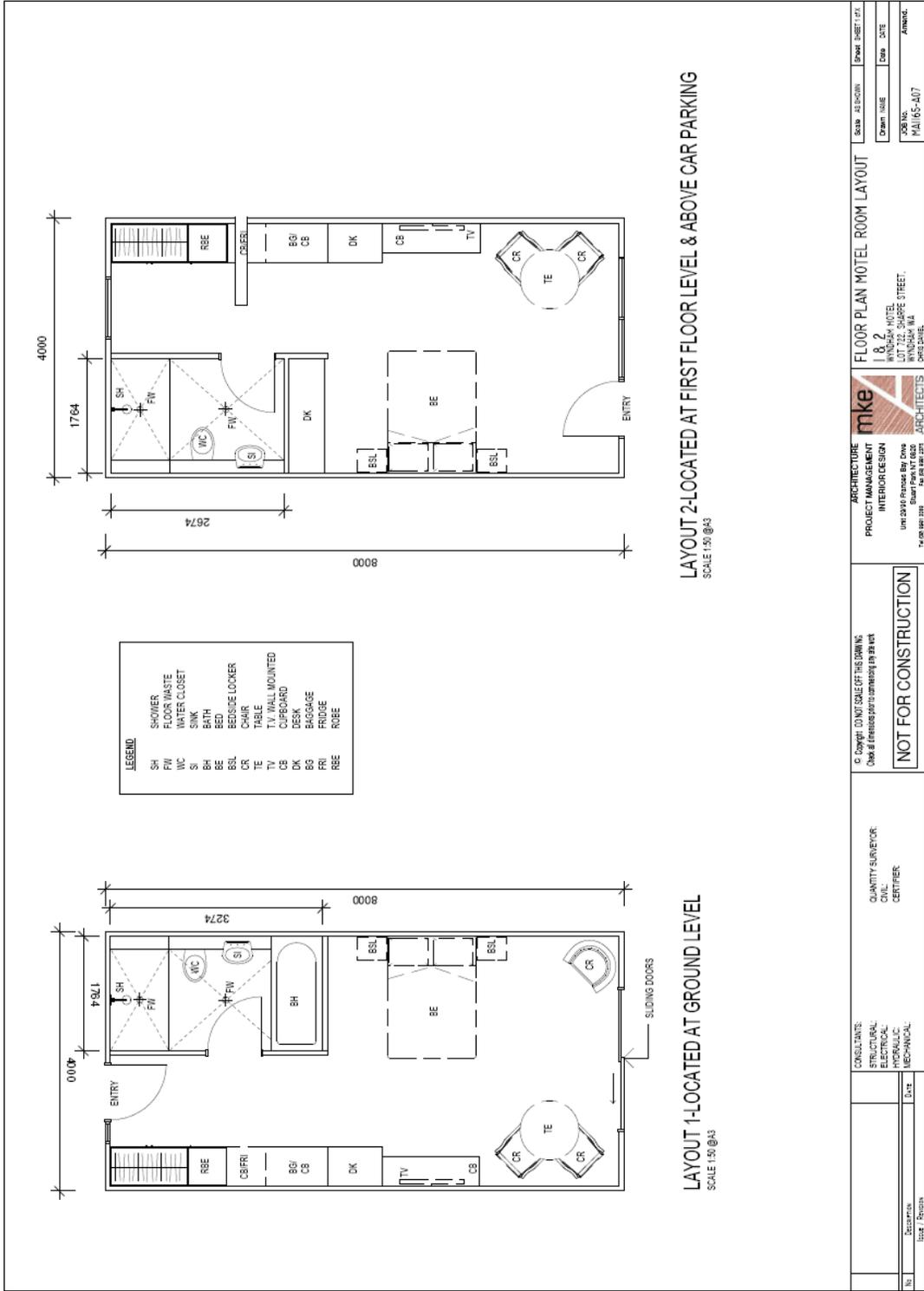
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MECHANICAL:			1000 2000 3000 4000 5000 6000 7000 8000 9000 10000	Approved	MAE	Checked	DATE
No.		Discipline	Project	Project Name	MAE/05-106	Project No.	MAE/05-106

**FIRST FLOOR PLAN APARTMENTS**  
WINDHAM NOTES  
LOT 132, SAUCE STREET,  
WINDHAM, MA



**NOT FOR CONSTRUCTION**

C. DWIGHT, CIVIL ENGINEER  
Check all dimensions and to construct in per set



LAYOUT 2-LOCATED AT FIRST FLOOR LEVEL & ABOVE CAR PARKING  
SCALE 1:50 @A3

LAYOUT 1-LOCATED AT GROUND LEVEL  
SCALE 1:50 @A3

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CONSULTANTS: STRUCTURAL: ELECTRICAL: HYDRAULIC: MECHANICAL:		QUANTITY SURVEYOR: CIVIL: CERTIFIER:	ARCHITECTURE PROJECT MANAGEMENT INTERIOR DESIGN 100 0310 Pineside Bay Drive Smart Point 0620 WINDUOL WA 10 08 000 0000 For info call 071 245 0000		FLOOR PLAN HOTEL ROOM LAYOUT 182 MOTEL LOT 702, SHARPE STREET, WINDUOL WA		Sheet: SHEET - 01 Date: DATE Revised:
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## 12.4 COMMUNITY DEVELOPMENT

### 12.4.1 Youth and Children's Services March 2011 Quarterly Report

<b>DATE:</b>	24 May 2011
<b>PROPONENT:</b>	Shire of Wyndham East Kimberley
<b>LOCATION:</b>	Shire of Wyndham East Kimberley
<b>AUTHOR:</b>	Karyn Apperley, Director Community Development
<b>REPORTING OFFICER:</b>	Karyn Apperley, Director Community Development
<b>FILE NO:</b>	CS.10.2
<b>ASSESSMENT NO:</b>	N/A

#### **PURPOSE**

For Council to note the Youth and Children's Services (Community Development Directorate) March Quarterly Report for the period of 1 January 2011 to 31 March 2011.

#### **BACKGROUND**

The Shire's Community Development Directorate is responsible for the provision of services to the local community within the applicable legislative frameworks, resource allocation and staffing capacity and in response to identified community service needs. The Community Development Directorate's service delivery assists Council to enhance and support communities through the provision of adequate, equitable and accessible services and facilities and ensure that these services and facilities are managed efficiently and effectively.

Each quarter the Community Development Directorate provides a report of activities conducted during the quarter, including comparative data, regarding the implementation of service provision and key achievements. The Library and Recreation Services March 2011 Quarterly Report was presented at the Ordinary Council Meeting held on 19 April 2011.

Due to limited staffing capacity within the Shire's Youth Services and Child Care units during the 1 January to 31 March 2011 quarter, the quarterly reports for these services units are being provided to the May 2011 Ordinary Council Meeting.

#### **STRATEGIC IMPLICATIONS**

The strategic implications of this report are represented by the *Shire of Wyndham East Kimberley Strategic Plan 2008*.

#### **STATUTORY IMPLICATIONS**

The statutory implications of this report are overarching compliance to the:

- *Local Government Act 1995*
- *Child Care Services Act 2007*
- *The Working with Children (Criminal Record Checking) Act 2004*
- *Children and Community Services Act 2004*
- *Young Offenders Act 1994*
- *Disability Services Act 1993*

- *Occupational Safety and Health Act 1984*
- *Food Act 2008*
- *Liquor Control Act 1988*

### **POLICY IMPLICATIONS**

The policy implications of this report are overarching compliance to Council and Administrative Polices including:

- *CP/COM – 3580 Community Services Policy*
- *CP/COM – 3581 Council Community Facilities Policy*

### **FINANCIAL IMPLICATIONS**

Income and expenditure figures for Youth and Children's Services are mostly tracking in line with budget projections, with some below budget expenditure due to staffing changes and shortages. The end of February 2011 Budget Review presented to Council at the April 2011 meeting identified budget amendments achieving a balanced budget outcome in these service areas.

### **COMMUNITY CONSULTATION**

Community consultation is not required in relation to this item.

### **COMMENT**

The March 2011 quarter showed the involvement of Youth and Childrens Services (Community Development Directorate) in a diverse range of major and minor projects and planning including:

- Membership of the East Kimberley Communities for Children Committee;
- Finalisation of modifications to the Kununurra Child Care Facility, supporting last year's re-licence of the Ewin Centre to increase to 80 places;
- Wyndham Child Care Centre attendance at the Community Big Breakfast event;
- Development of the design for a Reconciliation Mural at the Kununurra Youth Centre Collocation Hub;
- East Kimberley Youth Service Providers Network planning workshop;
- Improved data collection for Shire Youth Services to assist meeting external funding reporting requirements;
- Participation in the East Kimberley regional visit by Attorney General's Department, co-funding agency of the Shire's East Kimberley Youth Network project;
- Youth Empowerment Program expanded to include young people from Wyndham and Kununurra, with 12 applications received for the initial Leadership camp component.

Staffing continued to be a major focus for both service units, with Wyndham Child Care Centre reopening on 31 January 2011, with an Acting Coordinator appointed for 3 months. The second child care officer position was filled for the first 6 weeks however due to illness, the Acting Coordinator was then the sole staff member for a period of almost 3 weeks with the assistance of a volunteer community member.

This had an impact on available child care places due to legislative requirements regarding child/staff ratios, which resulted in slightly reduced hours of care provided in comparison to the same period in 2010. However, at the same time, the number of children and families utilising the Wyndham Child Care Centre increased.

### **Wyndham Child Care Centre Attendance Summary**

<b>Period</b>	<b>Hours of Care</b>	<b>Number of Children</b>	<b>Number of Families</b>
Jan – March 2011	1,256.5	20	15
Jan – March 2010	1,323	16	12

Youth Services has continued to provide the range of services and programs within a changing staffing profile. The new Manager Youth Services commenced at the end of January 2011. With a duty of care requirement that all youth programs be run with a minimum of two staff present at all times, Kununurra Youth Service has provided fewer programs than Wyndham Youth Service in the first quarter.

In Wyndham, Youth Service attendance over the total 105 activities was 2,140 occasions of participation by young people aged under 10 to 25 years, while in Kununurra, attendance over the 82 activities was 1,309 occasions of participation by young people aged under 10 to 18 years.

Different programming objectives assist in providing for the wide range of age groups, with under 10 years olds only being able to access Youth Services where accompanied by an older sibling. This approach acknowledges sibling care responsibilities that otherwise may prevent participation by older siblings. In addition, different program types attract different age groups and further program development is occurring to provide increased options for older young people/young adults.

Youth Services objectives for the next quarter involve the development of more sustainable weekly programs as well as continuing to increase collaborative interagency approaches to programming and resources utilisation.

At the Kununurra Youth Centre Collocation Hub, full collocation capacity of 10 workstations had been achieved throughout 2010. However, four workstations became available due to Save the Children relocating their youth service staff to their main office.

### **ATTACHMENTS**

Attachment 1 – Youth Services March 2011 Quarterly Report

### **VOTING REQUIREMENT**

Simple Majority

**OFFICER'S RECOMMENDATION**

That Council notes the Youth and Children's Services Quarterly Report for the period of 1 January 2011 to 31 March 2011.

**COUNCIL DECISION**

**Minute No. 9467**

**Moved: Cr K Torres**

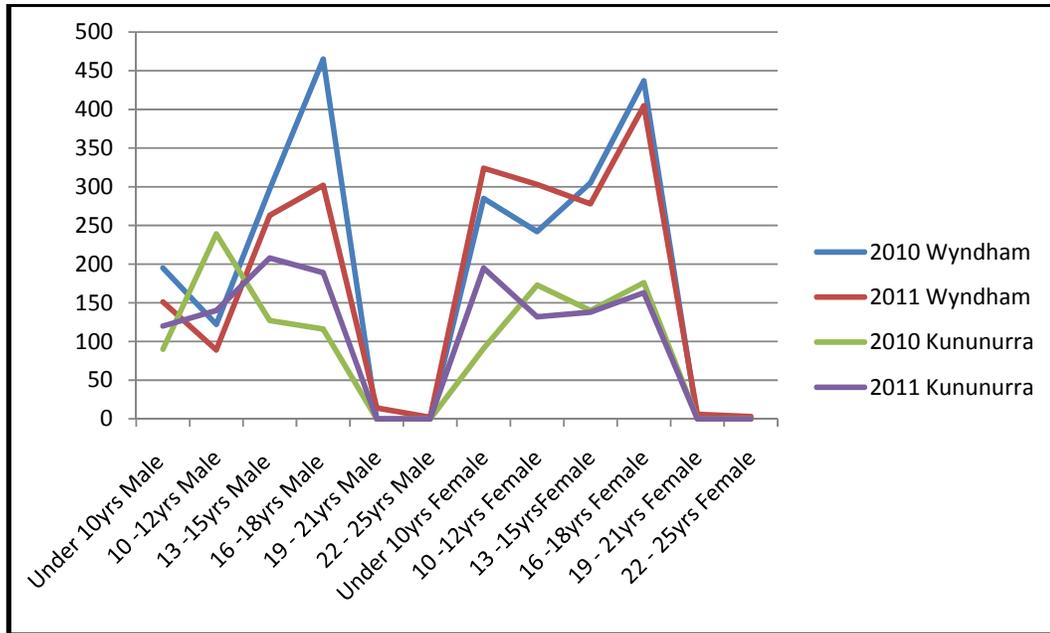
**Seconded: Cr J Parker**

**That Council notes the Youth and Children's Services Quarterly Report for the period of 1 January 2011 to 31 March 2011.**

**Carried Unanimously 9/0**

**Attachment 1: Youth Services March 2011 Quarterly Report**

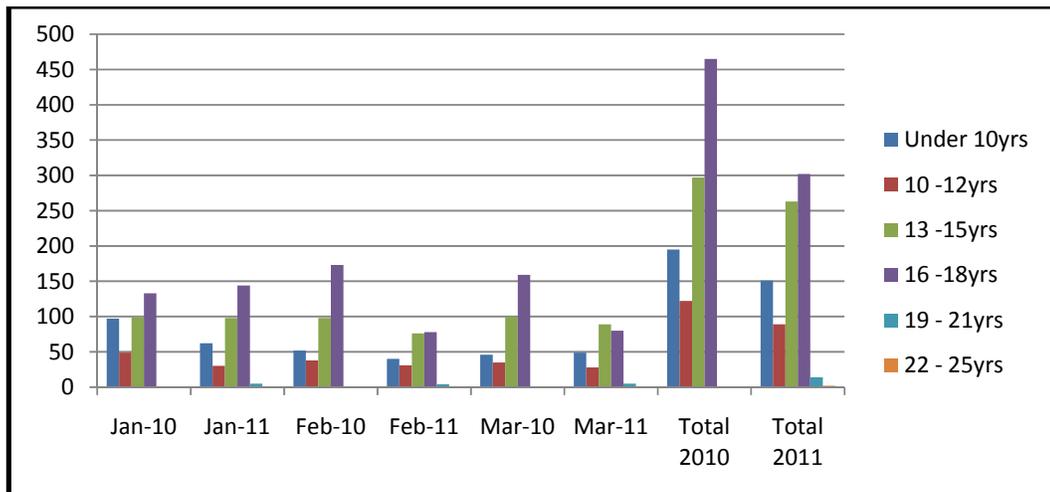
**COMPARATIVE OVERALL ATTENDANCE BY AGE AND GENDER - MARCH QUARTER 2010 AND 2011**



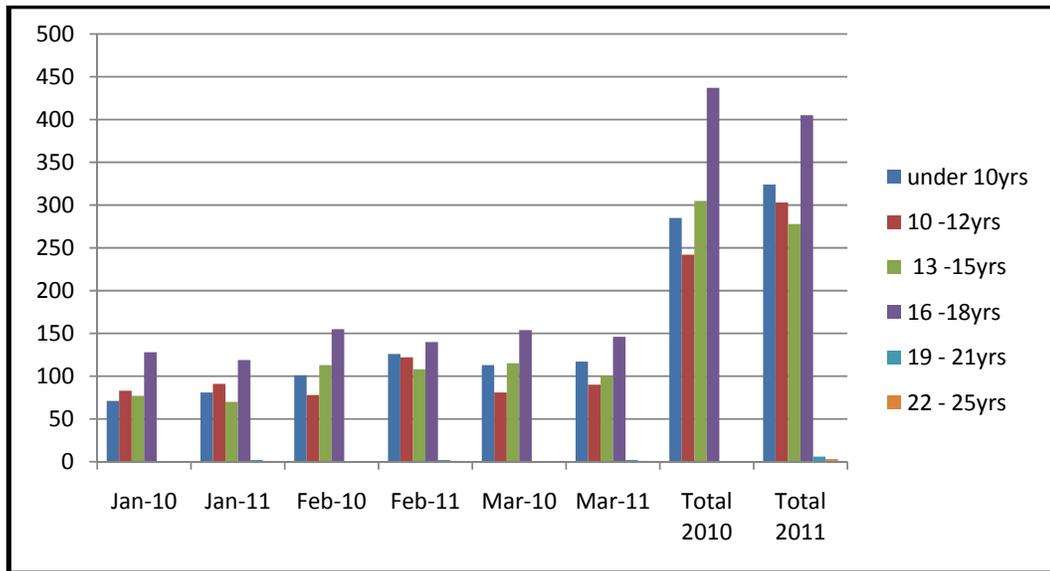
**Wyndham Youth Services – January to March 2011**

- A total of 105 diversionary, skills development and/or positive recreation activities delivered
- 3 referrals of young people to other agencies for support
- 6 occasions of hire by external groups/agencies of 12 seater bus.

**ATTENDANCE – MALE UNDER 10 TO 25 YRS (WYS)**



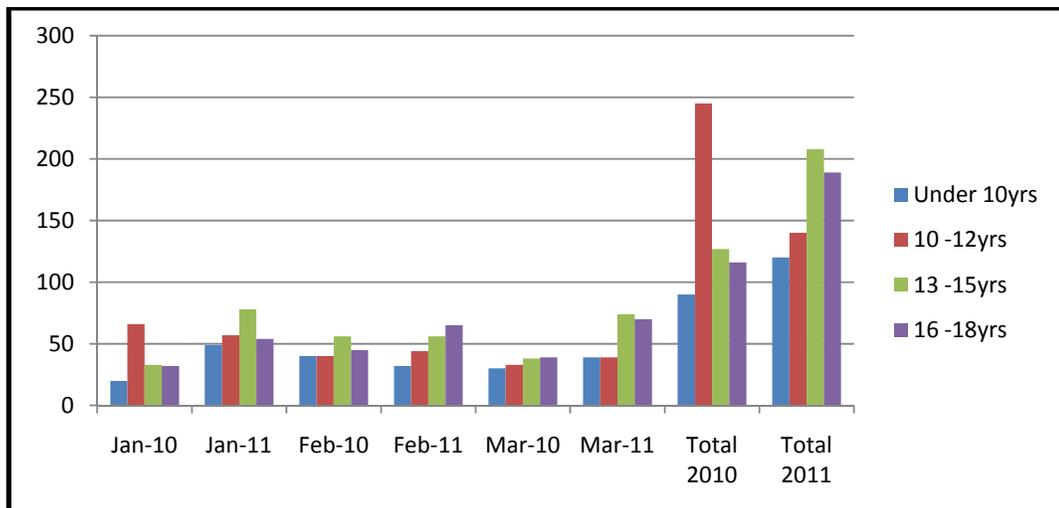
**ATTENDANCE – FEMALE UNDER 10 TO 25 YRS (WYS)**



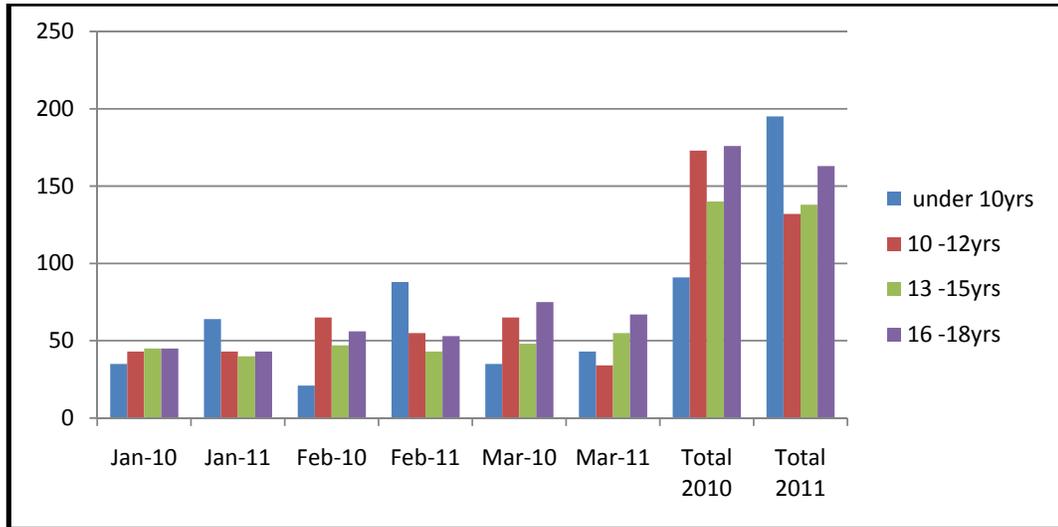
**Kununurra Youth Services– January to March 2011**

- A total of 82 diversionary, skills development and/or positive recreation activities delivered
- 4 referrals of young people to other agencies for support
- 11 occasions of hire by external groups/agencies of 12 seater bus and 13 hire occasions of 22 seater bus.

**ATTENDANCE – MALE UNDER 10 TO 18 YRS (KYS)**



**ATTENDANCE – FEMALE UNDER 10 TO 18 YRS (KYS)**



## 12.5 CHIEF EXECUTIVE OFFICER

### 12.5.1 Use of Common Seal

<b>DATE:</b>	24 May 2011
<b>PROPONENT:</b>	Shire Of Wyndham East Kimberley
<b>LOCATION:</b>	Shire of Wyndham East Kimberley
<b>AUTHOR:</b>	Fiona Kuiper, Executive Assistant
<b>REPORTING OFFICER:</b>	Gary Gaffney, Chief Executive Officer
<b>FILE NO:</b>	GN.02.1
<b>ASSESSMENT NO:</b>	N/A

#### **PURPOSE**

For Council to receive this report on the application of the Shire of Wyndham East Kimberley Common Seal for the period 12 April to 16 May 2011.

Information is presented to inform Council on those documents to which the Shire's Common Seal has been applied. In the time period specified above, the following documents have had the Shire of Wyndham East Kimberley Common Seal applied:

<b>Date of Use</b>	<b>Document</b>	<b>Responsible Officer</b>
28/04/2011	Contract of Sale Coolibah Estate Lots 42 & 44	Nick Kearns
2/05/2011	Grant Agreement Scoping and Costing Plan for Local Government Services to Indigenous Communities	Janet Takarangi
4/05/2011	Engagement of CAM Management Solutions - Scoping and Costing Local Government Services in Remote Indigenous Communities	Janet Takarangi

#### **STATUTORY IMPLICATIONS**

Local Government Act 1995

Council's Standing Order Local Law makes reference to the application of the Common Seal.

#### **POLICY IMPLICATIONS**

Nil

#### **FINANCIAL IMPLICATIONS**

Nil

#### **STRATEGIC IMPLICATIONS**

This report aligns with Council's focus on Governance, Key Result Area 5, in Council's Strategic Plan.

**COMMENT**

It is the Officer's recommendation that Council formally receive a report on use of the Shire's Common Seal.

**ATTACHMENTS**

Nil

**VOTING REQUIREMENT**

Simple Majority

**OFFICER'S RECOMMENDATION**

That Council receives the report on the application of the Shire of Wyndham East Kimberley Common Seal for the period 12 April to 16 May 2011.

**COUNCIL DECISION**

**Minute No. 9468**

**Moved: Cr J Parker**

**Seconded: Cr J McCoy**

**That Council receives the report on the application of the Shire of Wyndham East Kimberley Common Seal for the period 12 April to 16 May 2011.**

**Carried Unanimously 9/0**

## 12.5.2 Delegated Authority Report

<b>DATE:</b>	24 May 2011
<b>PROPONENT:</b>	Shire of Wyndham East Kimberley
<b>LOCATION:</b>	Shire of Wyndham East Kimberley
<b>AUTHOR:</b>	Fiona Kuiper, Executive Assistant
<b>REPORTING OFFICER:</b>	Gary Gaffney, Chief Executive Officer
<b>FILE NO:</b>	PL.02.1
<b>ASSESSMENT NO:</b>	Nil

### **PURPOSE**

To report to Council on the use of Delegated Authority by Officers for the period 1 April to 30 April 2011.

### **BACKGROUND**

Use of Council approved Delegated Authority by Officers is reported to Council on a monthly basis.

The attached tables outline use of Delegated Authority by relevant Officers for the above period.

### **STATUTORY IMPLICATIONS**

*Local Government Act 1995 - Sect 5.46*

5.46. Register of, and records relevant to, delegations to CEO's and employees.

1. The CEO is to keep a register of the delegations made under this Division to the CEO and to employees.
2. At least once every financial year, delegations made under this Division are to be reviewed by the delegator.
3. A person to whom a power or duty is delegated under this Act is to keep records in accordance with regulations in relation to the exercise of the power or the discharge of the duty.

### **POLICY IMPLICATIONS**

Nil

### **FINANCIAL IMPLICATIONS**

Nil

### **STRATEGIC IMPLICATIONS**

This report aligns with Council's focus on Governance, Key Result Area 5, in Council's Strategic Plan.

**COMMUNITY CONSULTATION**

Not Applicable

**COMMENT**

The attached report outlines the use of Delegated Authority by relevant Council Officers for endorsement by Council.

**ATTACHMENTS**

Delegated Authority Report

**VOTING REQUIREMENT**

Simple Majority

**OFFICER'S RECOMMENDATION**

That Council receives the Delegated Authority Report for the period 1 April to 30 April 2011.

**COUNCIL DECISION**

**Minute No. 9469**

**Moved: Cr D Ausburn  
Seconded: Cr K Torres**

**That Council receives the Delegated Authority Report for the period 1 April to 30 April 2011.**

**Carried Unanimously 9/0**

## Attachment 1: Delegated Authority Report

### BUILDING LICENCES ISSUED UNDER DELEGATED AUTHORITY – 1 – 30 April 2011

LIC#	DATE RECEIV'D	DATE LICENC'D	OWNER	BUILDER	LOCATION	DESCRIPTION	NEW/ADD	EST. VALUE	Comment/Process Time – WorkDays
030/2011	4/04/2011	5/04/2011	T & T Craig	T & T Craig	Lot 319 (19) Zamia Link Kununurra	Class 10B Swimming Pool & Shade Sail	New	\$25,000.00	1/15 days
031/2011	26/02/2010	8/04/2011	P Read	P Read	Lot 112 Salacca Loop Kununurra	Class 7B/8 Commercial Production & Storage Shed with attached Class 4 Residential	New	\$120,000.00	
032/2011	22/10/2010	8/04/2011	P & S Cottle	Michael Baxter	Lot 528 Riverfarm Road, Kununurra	Class 1A dwelling with attached Class 10A outdoor living	Add	\$580,000.00	
033/2011	13/10/2010	8/04/2011	Kandiwal Aboriginal Corporation	Outback Spirit Tours	"Outback Spirit Tour Sub-Lease" Doongan Loc 25 Via Mitchell Plateau Road	Class 10A Eco-tented camp accommodation with Class 6 amenities	New	\$800,000.00	
034/2011	7/04/2011	20/04/2011	John Mclean	Franmor Constructions	Lot 254 Lovegrass Way Kununurra	Class 1A dwelling with attached Class 10A outdoor living & carport	New	\$290,000.00	4/15 days
BAC 035/2011	22/09/2010	27/04/2011	Mr Wovodich & Linda McKenzie	Existing structures	Lot 1755 Great Northern Highway Wyndham	Building Approval Certificate - Existing structures: Transportable accommodation unit, Kitchen/Lounge, Garage & Ablution block	Exist'g	\$11,000.00	
								<b>\$1,826,000.00</b>	

**THERE WERE NO DEMOLITION LICENCES ISSUED UNDER DELEGATED AUTHORITY – 1 – 30 April 2011**

**SIGN LICENCES ISSUED UNDER DELEGATED AUTHORITY – 1 – 30 April 2011**

SIGN LIC#	DATE APPLIC RECVD	DATE LICENCED	ASSESS NO.	OWNER	ADDRESS	BUILDER/ CONTRACTOR	BUILDER ADDRESS	LOCATION	DESCRIPTION	Planning Approval / Delegation
SL 002/2011	31/03/2011	4/04/2011	A1145P	RJ Hextall & Rexdale Investments	c/- McGees Property PO Box 1245 West Perth	Alex & Kerry Fountis t/a Saltwater	PO Box 1359 Kununurra	"Gateway Shopping Centre" Shop 5 Lot 5 Messmate Way Kununurra	2 x wall panels 3 x verandah panels	N/A exempt sign

**CERTIFICATES OF CLASSIFICATION ISSUED UNDER DELEGATED AUTHORITY – 1 – 30 April 2011**

CERT CLASS#	DATE	BUILDING LICENCE	ASSESS NO.	BUILDING CLASS	OWNER	BUILDER	BRB / OB NO	LOCATION	DESCRIPTION
003/2011	13.04.2011	004/2011	A5841P	7B/8	Edinwell Holdings Pty Ltd	Franmor Constructions	BRB 10803	Lot 2434 (66) Coolibah Drive Kununurra	Class 7B/8 - Lean-to Extension to existing Commercial Production & Storage Building.
004/2011	27.04.2011	049/2007	A136P	6	D, S & P Smith	D, S & P Smith	Owner Builder NO BRB JURISDICTION	Loc 567/568 Ivanhoe Road Kununurra	Class 6 - Refurbishment to existing building for kitchen, café / stall

**THERE WERE NO FORMAL NOTICES RAISED PURSUANT TO LOCAL GOVERNMENT (MISCELLANEOUS PROVISIONS) ACT 1960 FOR ISSUE BY THE CEO UNDER DELEGATED AUTHORITY – 1 – 30 April 2011**

**COMMUNITY QUICK GRANTS DELEGATED AUTHORITY APPROVALS – 1 April – 30 April 2011**

<b>APPROVAL DATE</b>	<b>ORGANISATION</b>	<b>PURPOSE OF QUICK GRANT</b>	<b>TOTAL PROJECT COST</b>	<b>AMOUNT REQUESTED</b>	<b>AMOUNT APPROVED</b>
04/04/2011	Kununurra Water Ski	Wake Boarding School	\$3920	\$500	\$500
05/04/2011	Kimberley Wildlife Rescue Inc	Wildlife Weekend	\$800	\$500	\$500

### 12.5.3 Council Representation to the North Kimberley Land Conservation District Committee

<b>DATE:</b>	24 May 2011
<b>PROPONENT:</b>	Shire of Wyndham East Kimberley
<b>LOCATION:</b>	Shire of Wyndham East Kimberley
<b>AUTHOR:</b>	Fiona Kuiper, Executive Assistant
<b>REPORTING OFFICER:</b>	Gary Gaffney, Chief Executive Officer
<b>FILE NO:</b>	GN.05.7
<b>ASSESSMENT NO:</b>	Nil

#### **PURPOSE**

For Council to consider its representation on the North Kimberley Land Conservation District Committee for the current three year term.

#### **BACKGROUND**

The request from the Department of Agriculture and Food (Attachment 1) requests the appointment of one representative from Council on the North Kimberley Land Conservation District Committee (LCDC) for a term of three years from September 2010. Current representation on this committee is Cr Fred Mills and Cr John Moulden.

Council reviewed representation on committees at its Ordinary Meeting of 20 October 2009 (Attachment 2). The matter was raised at the December 2010 Briefing Session and Council requested that the matter to be brought back to Council's February 2011 Briefing for discussion. The matter was deferred at the February Briefing.

The Department of Agriculture and Food have requested a decision on the matter of representation on the North Kimberley LCDC to assist them in meeting their statutory obligations.

#### **STRATEGIC IMPLICATIONS**

*Key Result Area 5 - Governance*

Leadership and advocacy on issues relevant to the region.

#### **STATUTORY IMPLICATIONS**

Soil and Land Conservation Act 1945

##### ***23. Constitution and membership of district committees***

*(2b) The constitution of a district committee shall be determined under subsection (2a)(d) so as to provide for the following persons to be members of the committee —*

*(b) one or more persons appointed by the Commissioner on the nomination of the local government of each district that is wholly or in part comprised within the land conservation district;*

### **POLICY IMPLICATIONS**

Council policies in relation to reimbursements of costs incurred while undertaking the role of Councillor are relevant to this matter.

### **FINANCIAL IMPLICATIONS**

There are no financial implications in relation to representation on the North Kimberley LCDC.

### **COMMUNITY CONSULTATION**

No community consultation was required in the preparation of this report.

### **CONCLUSION/COMMENT**

Representation on the North Kimberley LCDC contributes to the strategic goals of the organisation and is a statutory requirement for the Department of Agriculture and Food.

The current three year term expires in September 2013. Should the nominated Councillor become unable to fulfil the role in this time, Council will need to consider the matter again and provide a new representative.

### **ATTACHMENTS**

Attachment 1 - Request from Department for Agriculture and Food  
Attachment 2 - Councillor Representation on Committees

### **VOTING REQUIREMENT**

Simple Majority

### **OFFICER'S RECOMMENDATION**

That Council appoint Cr ..... as its representative to the North Kimberley Land Conservation District Committee for the current three year term, expiring in September 2013.

**COUNCIL DECISION**

**Minute No. 9470**

**Moved: Cr R Addis**

**Seconded: Cr K Wright**

**That Council appoint Cr J Moulden as its representative and Cr R Addis as proxy to the North Kimberley Land Conservation District Committee for the current three year term, expiring in September 2013.**

**Carried Unanimously 9/0**

**Note: Cr J Moulden accepted the nomination, advising that he would not be available until after the Census in August 2011 and would require a proxy to ensure Council's representation.**

## Attachment 1: Request from Department for Agriculture and Food



Government of Western Australia  
Department of Agriculture and Food

Doc No: 72359  
Date: 03 Nov 2010  
Officcr: CEO  
Response: RR  
File: 66.13.04  
Cross Ref:  
Rel Apps:



Chief Executive Officer  
Shire of Wyndham/East Kimberley  
PO Box 614  
KUNUNURRA WA 6743

Your Ref:  
Ou\* Ref: 881831V04P00  
Enquiries: Mrs Gail Arnold (08 9368 3301)  
Date: 28 October 2010

Dear Sir

### **NORTH KIMBERLEY LAND CONSERVATION DISTRICT NOMINATIONS FOR COMMITTEE RE-APPOINTMENT**

I refer to my letter of 16 August 2010, advising that the three-year term of appointment for the North Kimberley Land Conservation District Committee was due to expire on **30 September 2010**. To date I have not received your advice on the representative for the Shire of Wyndham/East Kimberley.

There is currently provision to appoint one representative from the Shire of Wyndham/East Kimberley.

Thank you for your assistance with this matter. If you require further information or wish to discuss this matter, please contact me on (08) 9368 3301.

Yours sincerely

Gail Arnold  
LCDC PROJECT SUPPORT OFFICER

att

OFFICE OF THE COMMISSIONER OF SOIL AND LAND CONSERVATION

3 BARON HAY COURT SOUTH PERTH WESTERN AUSTRALIA 6151 (POSTAL ADDRESS: LOCKED BAG NO 4 BENTLEY DELIVERY CENTRE WA 6983)  
TELEPHONE: (08) 9368 3282 FACSIMILE: (08) 9368 3654

## Attachment 2: Councillor Representation on Committees

As per Minute Number 8879, 20 October 2009:

Name		Nominees
1.	Audit Committee – bi-monthly meetings	1 Cr D Ausburn 2 Cr K Wright 3 Cr F Mills 4 Cr J Parker
2.	Airport Committee – bi-monthly meetings	1Cr F Mills 2 Cr Di Ausburn 3 Cr K Wright 4 Cr J Moulden Proxy Cr J Parker
3.	CEO Review and Selection Panel – meets as required	1 Cr K Wright 2 Cr F Mills 3 Cr R Addis 4 Cr J Moulden
4.	Annual Community and Economic Development Grants Assessment Panel – twice per year  Australia Day/Citizenship/Volunteer Awards – once per year	1 Cr D Ausburn 2 Cr J Parker 3 Cr K Wright
5.	Kununurra/Wyndham Townscape Working Group – meets as required	1 Cr Jackie McCoy 2 Cr K Wright
6.	WALGA Kimberley Zone Council Delegates – quarterly meetings	1 Cr F Mills 2 Cr K Torres (Proxy) Cr Moulden (Proxy) Cr K Wright
7.	Kimberley Regional Road Group – twice per year	1 Cr K Wright
8.	North Kimberley Land Care District Council (LCDC) – twice per year	1 Cr J Moulden 2 Cr K Torres
9.	Halls Creek and East Kimberley Land Care District Council (LCDC) – twice per year	1 Cr J Moulden
10.	Zone Control Authority (ZCA) – twice per year	1 Cr J Moulden
11.	Australian Airport Owners Association – twice yearly	
12.	Local Emergency Management Committee (LEMC) – bimonthly meetings	1(Kununurra) Cr D Ausburn 2(Wyndham) Cr J Parker
13.	Bush Fire Advisory Committee (BFAC) – bi-monthly meetings	1Cr D Ausburn 2 Cr F Mills
14.	Kununurra Community Library Committee – 6 monthly	1 Cr K Wright 2 Cr R Addis
15.	Disability Access and Inclusion Planning Committee – annual meetings	1 Cr D Ausburn 2 Cr J Parker
16.	Ord Guard Board – as required	1 Cr J Moulden
17.	Roadwise Committee – bi-monthly meetings	1 Cr K Torres (Kununurra) 2 Cr J McCoy (Wyndham) (Proxy)
18.	East Kimberley Visitor Centre – monthly meetings	1 Cr F Mills
19.	Kimberley Group Training Board	Vacant
20.	Community Consultancy Council for Save the Children Australia – 6 weekly meetings	1 Cr K Torres
21.	Liquor Accord Kununurra – bi-monthly meetings	1 Cr D Ausburn
22.	Liquor Accord Wyndham – bi-monthly meetings	1 Cr J Parker
23.	SWEK DoW Foreshore Committee - quarterly meetings	1 Cr K Wright 2 Cr F Mills

## 12.6 ELECTED MEMBER REPORTS

### Cr John Moulden

25 April Anzac Day Parade and Service  
7 May Foreshore Plan public display, showgrounds  
12 May Ord Valley Muster opening, Historical Society  
14 May Foreshore Plan public display, Coles  
21 May Minister Bill Marmion  
24 May Kununurra Liquor Accord

### Cr Kenneth Torres

30 April Lake Argyle Swim Sponsors Helicopter Tour  
6-9 April Northwest Expo Broome  
13 April OVM Ord Valley Muster Sponsor Cocktail Party  
14 April Kimberley Moon Experience  
17-18 April National Indigenous Justice Forum Perth  
21 /5/11 Barramundi Concert

### Cr K Wright

25 April ANZAC Day Dawn Service

## 12.7 CHIEF EXECUTIVE OFFICER REPORT

25 April ANZAC Day Dawn and Day Services  
26 April Warmun Taskforce - Minister Macklin  
28 April Kununurra – Staff Meeting  
FESA Meeting John Butcher Kalumburu road, Ngallagunda recovery  
Warmun Taskforce  
29 April Corrective Services - Community Service Projects  
2 May Ord Valley Muster (OVM) Board Meeting  
Northern Air Services  
Interviews Director Infrastructure  
3 May Interviews Manager Operations  
4 May Reception Eric Ripper and Shadow Cabinet  
5 May Shadow Cabinet Meeting  
Department of Water - Ord River Management Plan Review  
Introduction  
6 May Wyndham – Staff Meeting  
Business after Hours  
9 May Local Government Services in Aboriginal Communities  
Planning Committee  
Water Corporation regarding M1 maintenance agreement  
10 May Ord State Implementation Committee Meeting and Post  
Project Review  
11 May Ed Newman - new Project Manager - Sorby Hills  
Department of Environment and Calm Delegation  
Waste Management

- Jim Malcolm, Chairman Waste Authority
- Robert Atkins, Deputy DG Environment
- Stuart Cowie, Director Strategic Policy and Programs

- 12 May Warmun Taskforce  
RSL Sub Branch  
Muster Opening – Kununurra Historical Society
- 13 May Kununurra – Staff Meeting  
Glen Chidlow Australia's North West  
Paul Novelly - Department of Agriculture and Food  
OVM Sponsors Cocktail Party
- 14 May Kimberley Moon Experience
- 16 May Meeting with Moonamang re wet season projects  
Bankwest new Relationship Manager David Burton
- 17 May Barramundi Concert 2011 Meeting  
Ziggy Wilkes - Horizon Power
- 19 May Maritime Constructions review and update meeting  
FESA Scott Beaton and Paul Carr re Ngallagunda recovery  
Chris Ellison TFS
- 20 May Daryl Moncrieff DEC Kalumburu Road  
Chris Ellison TFS  
Wyndham – Staff Meeting
- 22 May Minister Marmion Minister of Environment  
Barramundi Concert
- 22 May SWEK Muster Triathlon

**13. MOTIONS OF WHICH PREVIOUS NOTICE HAS BEEN GIVEN**

Nil

**14. QUESTIONS BY MEMBERS OF WHICH DUE NOTICE HAS BEEN GIVEN**

Nil

**15. URGENT BUSINESS APPROVED BY THE PERSON PRESIDING OR BY DECISION**

The following matters of Urgent Business were approved by the Shire President for consideration of this meeting.

## 15.1 Response to the Petition Regarding Nutwood Street, Sheoak Street and Rosewood Avenue

<b>DATE:</b>	24 May 2011
<b>PROPONENT:</b>	Shire of Wyndham East Kimberley
<b>LOCATION:</b>	Shire of Wyndham East Kimberley
<b>AUTHOR:</b>	Russell Williams, Senior Project Manager Fiona Kuiper, Executive Assistant
<b>REPORTING OFFICER:</b>	Russell Williams, Senior Project Manager
<b>FILE NO:</b>	RD.07.8, CU.06.19

### **PURPOSE**

For Council to receive the petition regarding the condition of Nutwood Avenue, Rosewood Avenue and Sheoak Street and to consider the construction of footpaths, curb, guttering and subsurface drainage to mitigate flooding in those areas.

### **BACKGROUND**

On receiving a petition from concerned residents on Nutwood Avenue, Rosewood Avenue and Sheoak Street an assessment of the road condition was made by Russell Williams, Senior Project Manager.

The area is residential and basically flat with a constructed bitumen road that is in most areas higher than the adjoining properties.

During a significant rain fall event sheet flow water has nowhere to divert to and lays on the surface until it percolates through the natural ground structure.

The residential area has no subsurface drainage to evacuate the excess water away into a detention basin or into a greater drainage system.

### **STRATEGIC IMPLICATIONS**

Key Result Area 1 – Infrastructure

To provide a residential road drainage network that is safe and meets its functional requirements

### **STATUTORY IMPLICATIONS**

Nil

### **POLICY IMPLICATIONS**

Nil

## **FINANCIAL IMPLICATIONS**

This project was nominated for upgrade 7 years ago and failed to proceed due to financial implications. The project has not been accounted for in any funding for the 2010/11 financial year.

A conservative estimate of \$50,000 is suggested for the design work and a fully costed budget for the project. The full cost of the project cannot be estimated prior to the surveying and design work occurring.

## **COMMUNITY CONSULTATION**

Community consultation was not required in the preparation of this report.

## **COMMENT**

The area encompassed by Nutwood Avenue, Rosewood Avenue and Sheoak Street is a low set area that is susceptible to flooding in high rain fall events. The road structure is in most areas higher than the surrounding properties. The road is not a contributing factor to the flooding of properties during high rain fall events but it does compound on the evacuation of water from the area.

The event of flooding in this area has been highlighted to the Shire in years gone. There are issues that will impact on the development of a budget. These issues include the relocation of services (power, water and telecommunications) which can be addressed and priced once a full cadastral survey and design has been completed.

A fully integrated subsurface drainage system is required. To achieve this, the level of the existing road will need to be reconstructed to design levels and include the introduction of curb and channelling to direct storm water into the integrated drainage system.

The drainage system will become the main conduit to reduce the flooding that has occurred in past rain events.

## **ATTACHMENTS**

Attachment 1 – Petition regarding Nutwood, Rosewood and Sheoak Streets

Attachment 2 – Road Edge Distances: Nutwood Avenue, Rosewood Avenue, Sheoak Street

## **VOTING REQUIREMENT**

Simple Majority

## **OFFICER'S RECOMMENDATION**

That Council:

1. Note the petition regarding the condition of Nutwood, Rosewood and Sheoak Streets
2. Approve Officers seeking further advice and costings to complete a full Cadastral survey and design of a fully integrated subsurface drainage system,

including road reconstruction to include the introduction of curb and channelling to direct storm water into the integrated drainage system for Nutwood, Rosewood and Sheoak Streets.

3. Approve the inclusion of the initial survey and design of the Nutwood, Rosewood and Sheoak Streets fully integrated subsurface drainage project into the 10/11 budget.

**COUNCIL DECISION**

**Minute No. 9471**

**Moved: Cr K Wright  
Seconded: Cr R Dessert**

**That the motion be amended to include the addition of 4<sup>th</sup> dot point:  
Approve the streets proceeding onwards from Mistletoe northwards to  
Ironwood Drive be included in the overall assessment for upgrade to drainage.**

**Carried Unanimously 9/0**

**COUNCIL DECISION**

**Minute No. 9472**

**Moved: Cr J Moulden  
Seconded: Cr R Addis**

**That Council:**

1. **Note the petition regarding the condition of Nutwood, Rosewood and Sheoak Streets.**
2. **Approve Officers seeking further advice and costings to complete a full Cadastral survey and design of a fully integrated subsurface drainage system, including road reconstruction to include the introduction of curb and channelling to direct storm water into the integrated drainage system for Nutwood, Rosewood and Sheoak Streets.**
3. **Approve the inclusion of the initial survey and design of the Nutwood, Rosewood and Sheoak Streets fully integrated subsurface drainage project into the 10/11 budget.**
4. **Approve the streets proceeding onwards from Mistletoe northwards to Ironwood Drive be included in the overall assessment for upgrade to drainage.**

**Carried Unanimously 9/0**

**Note: Council's decision differs from the Officer's recommendation as Council decided it was important to include the streets proceeding onwards from Mistletoe northwards to Ironwood Drive in the overall assessment for upgrade to drainage, to ensure a thorough plan was developed for drainage in this area of Kununurra.**

## Attachment 1 – Petition regarding Nutwood, Rosewood and Sheoak Streets

We, the undersigned residents of Nutwood Crescent and Rosewood Avenue, request that Council initiate immediate action to rectify the localised flooding in this area.

This is a known and ongoing issue and will only be resolved by installing kerbing, guttering, proper stormwater drainage and driveway crossovers.

We believe these works have been earmarked since approx. 2003, so we earnestly petition the Shire of Wyndham East Kimberly to make funds for these works available in the next Shire budget. Ideally these works are to be completed before the start of the next wet season.

DATE	NAME - please print	ADDRESS	OWNER OCCUPIER OR TENANT	SIGNATURE
22/3	TANIA LEWIS	23 Rosewood Ave	OWNER	0455 710219 L.
23/3	Megan Tringrove	26A Rosewood Ave	Tenant	0415 960702 Megan Tringrove
24-3	BILL LAWS	26 NUTWOOD ST	OWNER	Blair 91681244
24/03	Robina Campbell 0428607878	19 Nutwood Crescent	OWNER	Robina Campbell
24/03	Rob LINDA 0420473567	21 Rosewood	Tenant	LLA.
24/03/11	A.S. BYRNES	18 Rosewood Ave	Tenant	AS 0422 556113
24/3/11	KEITH BLACK	17 ROSEWOOD	OWNER	KB 0455 975028
24/3/11	CHRIS STAW DESANKA MIJOVIC	13 ROSEWOOD	OWNER	Allejovic 0455 922225
24/3/11	Tony Fitzgerald	12 Rosewood	Tenant	Tony Fitzgerald 047095008
24/3/11	DAVID TAYLOR	4 ROSEWOOD	TENNANT	DT 0447 173116 0429092249
24/3/11	JULIA HALL	5 ROSEWOOD	owner	J. Hall
24/3/11	PETER ELLISON	1 ROSEWOOD	Tenant	P. Ellison
19/4/11	TRACIE JOHNSON	14 ROSEWOOD	TENANT	J. Johnson

We, the undersigned residents of Nutwood Crescent and Rosewood Avenue, request that Council initiate immediate action to rectify the localised flooding in this area.

This is a known and ongoing issue and will only be resolved by installing kerbing, guttering, proper stormwater drainage and driveway crossovers.

We believe these works have been earmarked since approx. 2003, so we earnestly petition the Shire of Wyndham East Kimberly to make funds for these works available in the next Shire budget. Ideally these works are to be completed before the start of the next wet season.

DATE	NAME - please print	ADDRESS	OWNER OCCUPIER OR TENANT	SIGNATURE
23/03/2011	KEITH MILLAR	17 NUTWOOD CRESCENT	OWNER	<i>Keith Millar</i>
23/3/2011	TRENT GRUNDY	15 ROSEWOOD AVE	TENANT	<i>Trent Grundy</i>
23/3/2011	Adria Russell	16/B Rosewood Ave	Renter (HW)	<i>Adria Russell</i>
23/3/11	HANS HANEVELD.	16A ROSEWOOD	TENANT (HW)	<i>Hans Haneveld</i>
23/3/11	MATTHEW HUTCHINGS	21 ROSEWOOD	TENANT	<i>Matthew Hutchings</i>
23/3/11	Jared Dallen	23 Rosewood	Renter (Private)	<i>J. Dallen</i>
23/3/11	Tracee Bowd	4 Nutwood Cresc.	Tenant	<i>Tracee Bowd</i>
23/3/11	Bronwyn JENNINGS	4 Nutwood Cres.	tenant	<i>Bronwyn Jennings</i>
X 23/3/11	Emma Day	35 Nutwood Crescent	owner	<i>Emma Day</i> 04258410097
X 23/3/11	Merridith Austen	24 Rosewood	owner	<i>Merridith Austen</i> 0459500667
X 23/3/11	Nathan Dyer	8 NUTWOOD	owner	<i>Nathan Dyer</i> 0429351566
23/3/11	Tracey Morden	6 Nutwood Cres	House SHer	<i>Tracey Morden</i> 0404027585

We, the undersigned residents of Nutwood Crescent and Rosewood Avenue, request that Council initiate immediate action to rectify the localised flooding in this area.

This is a known and ongoing issue and will only be resolved by installing kerbing, guttering, proper stormwater drainage and driveway crossovers.

We believe these works have been earmarked since approx. 2003, so we earnestly petition the Shire of Wyndham East Kimberly to make funds for these works available in the next Shire budget. Ideally these works are to be completed before the start of the next wet season.

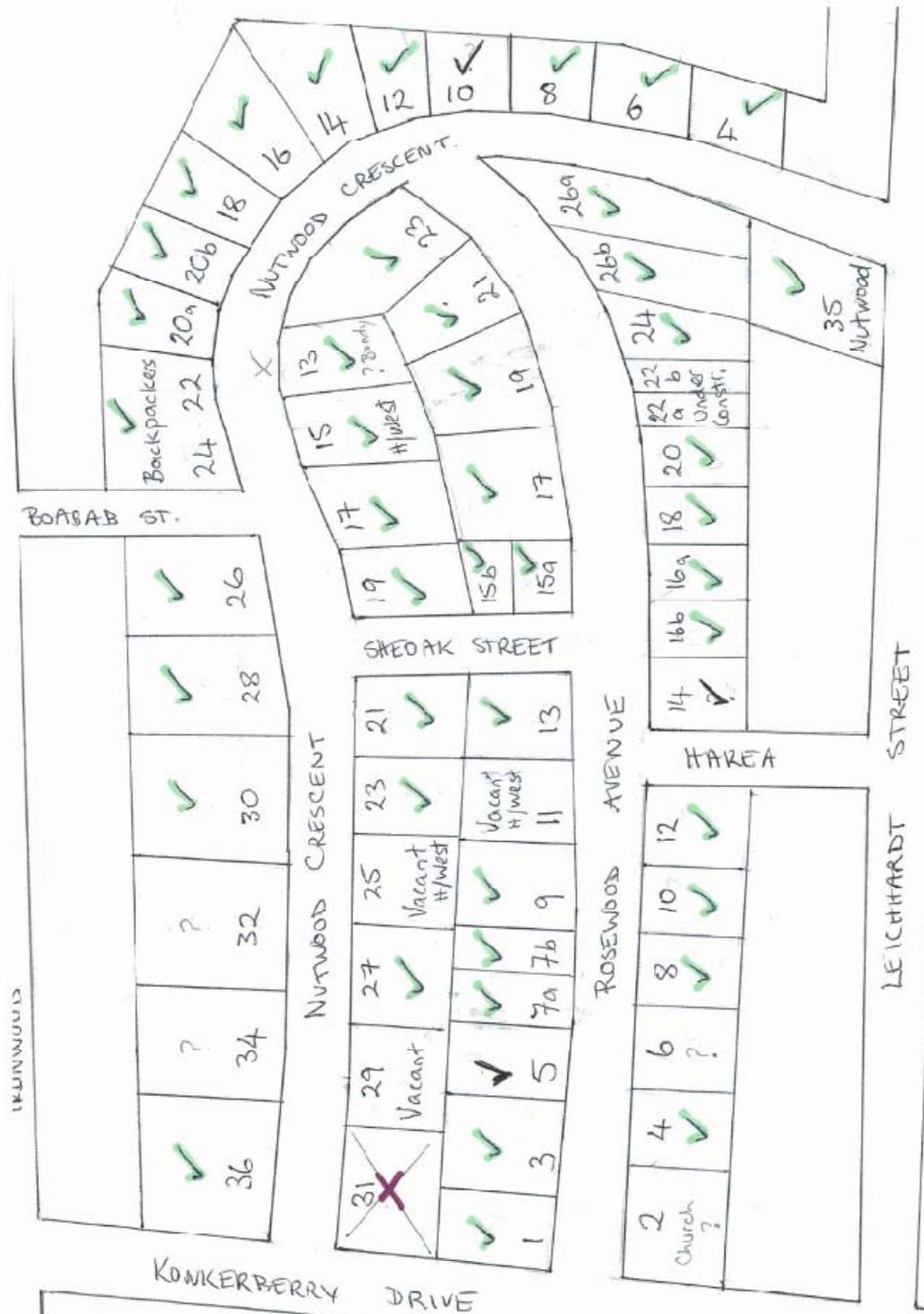
DATE	NAME - please print PHONE NUMBER.	ADDRESS	OWNER OCCUPIER OR TENANT	SIGNATURE
24/03/11	S. MILLER 0437 507 685	3 ROSEWOOD AV	TENANT	S. Miller
24/03/11	<del>BRUNNEN JOHNSON</del> 10 ROSEWOOD	<del>ROSEWOOD</del>	<del>TENANT</del> (H.W)	<del>[Signature]</del>
	BRUNNEN JOHNSON 0408207890	7 ROSEWOOD	(HW) TENANT	B. Johnson
24/3/11	WILNA WALLERS	9 ROSEWOOD	Tenant	[Signature]
24/3/11	B AMSTER 9168 2867	10 ROSEWOOD	owner	[Signature]
25/3/11	Stuart Ieusta 9169 1998	Nutwood Erinwood. 22 24 28	owner	[Signature]
25/3/11	GRAEME AAZOL 0409 549 223	NUTWOOD 24	MANAGER NUTWOOD	[Signature]
25/03/11	Ross HYDON	ROSEWOOD	ME	[Signature]
25/03/11	Shayn Mithun	ROSEWOOD	DAD	[Signature]
25/3/11	Wendy PEARCE None.	NUTWOOD CRESC 12.	OWNER.	[Signature]
25/3/11	Howard ROE	14 NUTWOOD CRESC	Tenant	[Signature]
X 25/11	RICK 91681 009 MCLEAN	16 NUTWOOD	OWNER	[Signature]
X 25/3/11	KENTON DAY 0438691182	20 A NUTWOOD CRESC	OWNER	[Signature]

We, the undersigned residents of Nutwood Crescent and Rosewood Avenue, request that Council initiate immediate action to rectify the localised flooding in this area.

This is a known and ongoing issue and will only be resolved by installing kerbing, guttering, proper stormwater drainage and driveway crossovers.

We believe these works have been earmarked since approx. 2003, so we earnestly petition the Shire of Wyndham East Kimberly to make funds for these works available in the next Shire budget. Ideally these works are to be completed before the start of the next wet season.

DATE	NAME - please print PHONE NUMBER	ADDRESS	OWNER OCCUPIER OR TENANT	SIGNATURE
25/3/11	BRENDA NINGARMARA	15 NUT-WOOD	RENT (HW)	Brenda Ningarmara
x 25/3/11	Susie Williams 91691452	18 Nutwood	Owner	
25/3/11	STEVE EARLY 0417556402	158 Rosewood	Rent	
29/3/11	Hank VAN DEN DRIJER 91682107	27 NUTWOOD CRGS	OWNER	
28/3/11	Sean Douglas 0437903140	28 Nutwood	Rent	
29/3/11	Sam French 0417552199	23 Nutwood	Rent	
.	Bentley Gore	36 Nutwood	Rent	
x 29/3/11	Tam Dalbuzer 0407372491	21 Nutwood	Owned	
29/3/11	Juli Jobe	30/A Nutwood	Rent	
29/3/11	Kevin Reay	20/b Nutwood	Rent	
29/3/11	SANDRA TRINGOP.	8 Rosewood Avenue	owner	
07/04/11	Hugh Szymour	10 nutwood	owner	
< 08/04/11	Jason Behn 0417631744	13 Nutwood 21 Rosewood	owner	



**Attachment 2 – Road Edge Distances: Nutwood Avenue, Rosewood Avenue, Sheoak Street**

**Nutwood-Rosewood-Hakea-Sheoak-Boabab  
Road Edge Distances**



Streetname	Distance in m (Street)
Nutwood Cres	507
Rosewood Ave	410
Sheoak St	88
Hakea St	80
Boabab St	79

## 15.2 Wyndham Floating Pontoon

<b>DATE:</b>	<b>24 May 2011</b>
<b>PROPONENT:</b>	<b>Shire of Wyndham East Kimberley</b>
<b>LOCATION:</b>	<b>Shire of Wyndham East Kimberley</b>
<b>AUTHOR:</b>	<b>Russell Williams, Senior Project Manager, Meagan Le Riche, Infrastructure Support Officer</b>
<b>REPORTING OFFICER:</b>	<b>Russell Williams, Senior Project Manager</b>
<b>FILE NO:</b>	<b>LP.02.53</b>
<b>ASSESSMENT NO:</b>	<b>N/A</b>

### **PURPOSE**

For Council to accept the report on the Wyndham Boat Ramp Pontoons produced by Worley Parson (Simon Batt) and consider the options that are provided in that report.

### **BACKGROUND**

The original structure was built in December 1998. In the wet season of 2002/2003 a significant rain fall event occurred in the up reaches of the Pentecost, Durack and King Rivers; resulting in a greater than normal amount of floating debris and water coming down these rivers and flowing into the Cambridge Gulf.

The debris collected around the base of the original pontoon piles and caused significant damage resulting in the replacement of 4 of the original piles and structural damage to the floating pontoons.

In December 2010 a 6 metre section of one of the original piles snapped at a welded joint and fell across the access to the boat ramp. In light of this Shire officers conducted an investigation as to the cause of the structural failure of the pile. It was revealed that the pile had become separated at a poorly welded joint.

Following a Duty of Care principal, plus taking advantage of the expertise available at the time, Russell Williams, Senior Project Manager, took the opportunity to engage the services of Worley Parson to provide the Shire with a documented report on the structural integrity of existing piles. This report is attached.

The boat ramp pontoons are vital to the safe operation of smaller craft used by recreational fisherman in that area.

### **STRATEGIC IMPLICATIONS**

Key Result Area 1 - Infrastructure  
A range of quality public facilities that meet a diversity of interest.

### **STATUTORY IMPLICATIONS**

Nil

## **POLICY IMPLICATIONS**

Nil

## **FINANCIAL IMPLICATIONS**

There has been no funding allocated in any budgets for potential repair needs of this Shire asset in the past.

A quotation has been provided by Maritime Constructions to the value of \$389,210 plus GST. The quotation has been attached to this report.

## **COMMUNITY CONSULTATION**

No community consultation was required in the preparation of this report.

## **COMMENT**

On 15 December 2010 a 6 metre pile that forms part of the support structure on the Wyndham Boat Ramp Pontoon parted at a welded joint and fell to the ground. Preliminary investigation showed that the weld joining the two piles was not fully welded at that point, corrosion was obvious and a contributing factor in the resultant failure.

Further investigation by the Shire's Senior Projects Manager, Russell Williams raised doubt as to the integrity of the remaining piles. Following a Duty of Care principal, plus taking advantage of the expertise available at the time, it was decided to have a full report completed for Council consideration.

Worley Parson Manager Marine Structures (Sydney) Simon Batt was engaged to produce the attached report. Simon Batt is currently retained by the Shire as Consulting Engineer for the Wyndham Community Fishing Jetty Project.

As stated in the Worley Parsons report:

### **RECOMMENDATIONS**

#### **PILING**

*SWEK has two main options as follows:*

- 1 Undertake repairs to the piles when failure becomes obvious, that is on a reactive basis. Pile failures are expected to occur more frequently given the observations made during the 15 December 2010 pile failure of poor welding. There is a risk that the public may be injured when a pile failure occurs. There is also the risk of resulting damage to the pontoon system.*
  
- 2 Replace the existing piles with a larger, thicker walled steel piles (for example 457mm diameter by 12.7mm thickness Circular Hollow Section (CHS) pile – section size is an estimate only and would need to be confirmed by calculations) with welded caps at the top and an epoxy paint or high density polyethylene (HDPE) sleeve corrosion protection this option would be more expensive than option 1 in the short term but would likely lead to a lesser overall life cycle cost. It was noted that Maritime Constructions currently has a barge mobilised at Anthon Landing and as such there is an opportunity to upgrade the piling on the facility for a*

*reduced cost as mobilisation / demobilisation costs are covered by the Wyndham Community Jetty Project.*

### **PILE GUIDES**

*SWEK has two main options as follows:*

- 1 Continue to repair the piles guides when failures become obvious, on a reactive basis.*
- 2 Replace the pile guides with larger, fit for purpose structural members. This option would be particularly appropriate if the existing piles were to be upgraded.*

### **CONCLUSION**

*A number of issues were identified where individual components of the pontoon are in non-conformance to Australian Standards.*

*Failure of the existing piles guides will continue to occur on the Wyndham Boat Ramp Floating Jetty due to inappropriate existing piles, which are under designed for strength and have a short life due to poor corrosion protection, poor welding during splicing and holes located within the tidal zone.*

*It is recommended that a design for new pile guides and piles be undertaken and the existing piles be replaced with new steel piles with adequate corrosion protection detailing.*

Should further piles fail in the future and the Shire has no option but to replace the piles, mobilisation and demobilisation costs along with inflation could result in the cost of replacing the piles for the Wyndham Boat Ramp Pontoon escalating to around \$1.5 million.

Maritime Constructions have offered a price for the replacement of the Wyndham Boat Ramp Pontoon Piles whilst their equipment is in the area. Subsequently this price does not include mobilisation and demobilisation costs.

### **ATTACHMENTS**

Attachment 1 – Confidential Report – Worley Parsons

Attachment 2 – Quote for Replacement of Pontoon Piles for Wyndham Boat Ramp.

### **VOTING REQUIREMENT**

Simple majority

### **OFFICER'S RECOMMENDATION**

1. That Council accepts the report from Worley Parsons and considers the options available.
2. That Council acknowledges the quotation from Maritime Constructions for the replacement of the piles whilst the equipment is on location.
3. That the Council consider a variation to the contract for the Tender T19 2009/2010 (Wyndham Community Fishing Jetty) to include the replacement of the pontoon piles for the Wyndham Boat Ramp Pontoon and delegate authority to the CEO to source funding.

**COUNCIL DECISION**

**Minute No. 9473**

**Moved: Cr J Moulden**

**Seconded: Cr D Ausburn**

- 1. That Council accepts the report from Worley Parsons and considers the options available.**
- 2. That Council acknowledges the quotation from Maritime Constructions for the replacement of the piles whilst the equipment is on location.**
- 3. That the Council consider a variation to the contract for the Tender T19 2009/2010 (Wyndham Community Fishing Jetty) to include the replacement of the pontoon piles for the Wyndham Boat Ramp Pontoon and request the CEO to source funding.**

**Carried 8/1**

**For: Cr F Mills, Cr D Ausburn, Cr J McCoy, Cr R Addis, Cr J Parker,  
Cr J Moulden, Cr K Torres, Cr K Wright**

**Against: Cr R Dessert**

## Attachment 2 – Quote for Replacement of Pontoon Piles for Wyndham Boat Ramp

28 April 2011  
Quote No MC301/11IL

Shire of Wyndham East Kimberley  
PO Box 614  
Kurururra  
WA 6743

Attn : Russell Williams

Sub: Replacement of Pontoon Piles for Wyndham Boat Ramp  
(Variation to Contract # T19-09/10)

Dear Russell,

Thank you for the opportunity to offer a quotation for the replacement of the pontoon piles at the Wyndham Boat Ramp. Our detailed quote is attached for your kind perusal.

Please feel free to contact me should you require any further clarifications/information.

Thanking you.

Yours truly,

**Imran Lambay**  
General Manager - Operations  
Maritime Constructions

**I. Scope of Work**

- a) Supply 10 of 508mm Ø x 15.9mm (T) x 36m (L) steel piles; 10 of 630mm OD x 18m (L) PN4 HDPE sleeves with cap & plug, and 10 of aluminium brackets (pile to pontoon connection).
- b) Remove and dispose of existing pontoon piles (10 nos). Disassemble existing pontoon and store in safe and appropriate manner.
- c) Drive 10 new pontoon piles with HDPE sleeves, in same location as existing piles. Fix new aluminium brackets to existing pontoons.
- d) Reinstall all pontoons to same arrangement as existing.

**II. Related Experience**

Maritime Constructions have completed a wide range of similar projects around the country over the last 15 years and are well versed with pile driving for various applications such as jetties, wharves, boat ramps, navigation aids, etc.

The company is currently constructing the Anthon Landing Jetty at Wyndham for SWEK, a project which involves the driving of 34 x 660mm Ø piles of 43m length. The company has also recently completed driving 32 piles the Bulk Loading Facility at Wyndham for the Kimberley Metals Group.

Case studies of the company's major related projects can be provided if required.

**III. Brief Methodology / Proposed Plant**

Maritime Constructions projects in Wyndham are being executed with our construction (pile driving) barge, *Sapor*, which is equipped with vibrating & impact hammers, 90T pin jib crane and various support plant off-shore and on-shore. The barge is also equipped with a hydraulically operated pile guide attached to the port side of the barge, which is used to drive vertical piles. The same plant/equipment will be utilized for the proposed boat ramp piling project.

Prior to starting the pile driving operation, the crew will dismantle the brackets and existing pontoon system using the 'Archie' anchor handling barge. The pontoon will be stored on land until it needs to be re-assembled to the new pontoon piles.

The piling barge will be manoeuvred into position using the barge's six point mooring system. Mooring anchors, attached to hydraulically operated mooring winches by steel cable, will be placed on-shore and in the channel. A surveyor will guide the barge into position such that the pile frame is exactly over the location of the pile to be driven.

The *Sapor* barge crew, possibly using the vibrating hammer, will remove the existing pontoon pile so that the new pontoon pile can be driven in exactly the same position.

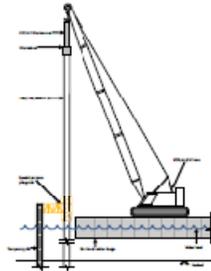
Once the location of the pile guide is correct, the crane will lift and place the 36m long pile into the guide. The pile will be disconnected from the crane and allowed to 'sink' into the ground under its self-weight. The crane will then lift our ICE 22-23 vibrating pile hammer.

The pile will be first driven (vibrated) using our ICE 22-23 vibrating pile hammer. Once the pile reaches refusal with the vibrating hammer, the hammer will be replaced with our S70 IHC double impact hammer and the pile driving process will be re-started.

The impact hammer will drive the pile to the nominated RL or refusal, whichever occurs first. Refusal is defined when 50 blows (or more) of the S70 hammer are required for 100mm of penetration. The surveyor will take an 'as-built' reading of the pile in its final position.

Once the pile driving process is completed the crane will lift the 18m long HDPE sleeve and slide the sleeve (with light hammer taps) till the top of the sleeve comes to rest on the top of the pile. The HDPE sleeve is pre-fitted with a HDPE cap on the top. The top cap of the sleeve has a small bung in it to let air escape as the sleeve is being driven. This hole is plugged at the end of the drive.

Once the sleeve is completely driven, two holes are drilled through the sleeve and tapped into the steel pile. The sleeve is permanently fixed to the steel pile by 2 x M16 MS Bolts with Plastic Washers that screw into the hole tapped in the pile. The bolts are sealed using a silicone sealant.



The steel pile is sealed from the outside air by the sleeve cap and the bolt sealant. However, a white dome cap, that is long enough to cover the bolts is also placed on top of the pile and sealed as an added sealing measure.

Quote No MC301/11IL

On completion of pile/sleeve, the barge will move to the next pile position and the above process is repeated. On completion of all the piles, the existing pontoons, with new aluminium brackets fitted, will be re-floated and assembled onto the new pontoon piles.

It is expected that the on-site works will take 10 days to complete. The management of boating traffic during this short period will be discussed with SWEK to ensure the safety of ramp users as well as to ensure our works are not held up unnecessarily.

**IV. Quotation:**

ITEM	DESCRIPTION	AMOUNT (\$)
1.	Site Establishment	\$3,900
2.	Materials (Piles, Sleeves, Pontoon guides); delivered to Wyndham	\$201,140
3.	Pile Splicing (20 splices)	\$39,210
4.	Aztec (Design Consultant)	\$5,300
5.	Floating Pontoon Removal and Re-Installation, including fixing new aluminium brackets/guides	\$51,830
6.	Removal of existing piles (10 nos.) and driving of 10 x new 508mm Ø piles with HDPE sleeves & end caps.	\$87,830
TOTAL \$		\$389,210

Amounts shown are exclusive of GST.

**V. Timeline:**

Procurement and fabrication works have a lead time of 6 weeks. It is expected that the on-site works will be completed within 10 days of work start, excluding delays due to weather. Times provided are approximate only.

**VI. Terms & Conditions**

1. These works will be undertaken as a Variation to the existing Anthon Landing Jetty Contract (T19-09/10).
2. No allowance has been made for any permissions, approvals, fees, applications, reporting, etc. with statutory authorities for executing the works under this contract.
3. This quote is based on the geotechnical information provided by SWEK, and the seismic analysis undertaken by Maritime Constructions, for the Anthon Landing Jetty project. Based on this information, this quote is based on pile lengths of 36m and sleeve lengths of 18m only.
4. No allowance has been made for weld testing by an independent agency.

**VII. Contract Type / Payment Schedule**

This quote is based on a lump sum contract, being Variation to our existing contract #T19-09/10. Two Progress Claims will be issued; on material delivery to site and on completion of the works.

**VIII. Documentation**

The following documentation will be provided:

- Project photographs
- Pile 'As-Built' information
- Steel piles / HDPE sleeves – Manufacturer's documentation
- General Arrangement Drawing from Aztec, consulting engineers.

### 15.3 Entry Statements – Kununurra

<b>DATE:</b>	24 May 2011
<b>PROPONENT:</b>	Shire of Wyndham East Kimberley
<b>LOCATION:</b>	Shire of Wyndham East Kimberley
<b>AUTHOR:</b>	Janet Takarangi, Economic Development Officer
<b>REPORTING OFFICER:</b>	Gary Gaffney, Chief Executive Officer
<b>FILE NO:</b>	GS.05.6

#### **PURPOSE**

For Council to consider the final design and installation of two entry statements for Kununurra using the funding set aside by Council in the 2010/2011 budget including the RCLIP funding of \$45,000 + GST. If the RCLIP funding is not acquitted by 30 June 2011 it will have to be returned as there will be no further extensions to complete the project.

#### **BACKGROUND**

Work first started on entry statements in 2007 and continued into 2008 and 2009. At the April 2011 meeting of Council decisions made in 2009 were reviewed and a new way forward was agreed.

The April action plan agreed to by Council is as follows:

1. Staff are to ensure RCLIP funding is retained for this project. RCLIP were been informed that the matter was before the April Council meeting
2. Staff to contact Main Roads and obtain the compliance requirements for such signs
3. Staff will develop a specification document to cover fabrication and erection at two prepared sites taking into account budget and Main Roads compliance requirements
4. Contact Al Mason and inform him of the change of process and inform him that a closed request for the project will be sent to him if interested.
5. Staff will send the request documents to both Al Mason and the second group to submit a response for the project
6. Council will assess the received options for final sign off at the 17 May Council meeting including design and sites.
7. All work must be completed by 30 June 2011.

RCLIP funding was secured but on the proviso that the signs would be finalised by 30 June 2011. Their conditions are as follows:

*I have 'walked' the documents through for you and can advise that the Department supports your application for a time extension to the end of June. The caveat though is that the Final Report must be lodged through the eGrants system by the 30th of June which means that the project Must be completed by then in order for you to be able to do so. (It just has to be complete not necessarily acquitted at that time) Please 'Push To Complete' the project as soon as possible. Michael O'Brien. 21st April 2011.*

Because of the time constraint and the desire to finalise the entry statement project using RCLIP funding, advice was sought from Danthonia Signs, a company based in NSW who undertake a wide range of sign work across Australia and who have Engineers who have worked with Main Roads at a WA State level to get agreement on design aspects of their work.

Danthonia have produced two designs (Attachment 1) which are presented for consideration with one identified as the preferred option for final approval. These signs have been developed using iconic East Kimberley images and branding. The pricing is all inclusive of design, fabrication, graffiti finish, lighting using solar power and installation. Within the time available it was deemed more efficient to get all work done by one agency under an inclusive agreement.

The signs are pre-constructed off-site using expanded polystyrene [EPS] with 3mm polyurethane hardcoat on an aluminium pylon, and are transported to the site for installation. We are working with Danthonia to get a local company approved for the installation work.

Sites for the signs have been chosen and are indicated on the attached map (Attachment 2). Both sites have been checked by the Shire's Planning team and meet planning requirements. Work has been undertaken with Main Roads based in Derby to get approval for new sites and new signs after work done previously.

### **STRATEGIC IMPLICATIONS**

It is imperative that this project is finalised within the parameters of funding, legal compliance and community expectations.

Once erected it will enable further work to be done on overall signage working with both Main Roads and the Tourism sector. Further briefings will be submitted to Council when this work has been scoped fully.

### **STATUTORY IMPLICATIONS**

The land tenure for the proposed entry statement locations is Main Roads controlled road reserve, with both locations being within the Victoria Highway road reserve.

The Polygon Identification Number for the section of the Victoria Highway reserve for which the western entry statement is within is PIN 11725976.

The section of the Victoria Highway reserve for which the eastern entry statement is within has two PIN's, both of which seem to cover the exact extent of the highway reserve. These PIN's are 11415099 and 11415121.

### **POLICY IMPLICATIONS**

Nil

### **FINANCIAL IMPLICATIONS**

The total budget \$60,000 includes RCLIP funding of \$45,000.

Prices for the two designs are as follows:

<b>Revision 1F</b>	
	Per sign cost (ex GST)
Sign	\$12,240
Frangibility	\$1,500
Lighting	\$3,500
Anti-Graffiti	\$520
Freight	\$1,640
Installation	\$3,385
<b>TOTAL</b>	<b>\$22,785</b>

<b>Revision 1E</b>	
	Per sign cost (ex GST)
Sign	\$8,135
Frangibility	\$1500
Lighting	\$3,500
Anti-Graffiti	\$520
Freight	\$1,312
Installation	\$3,385
<b>TOTAL</b>	<b>\$18,352</b>

It is estimated that site works and Shire Officer time on the project will cost approximately \$14,000.

### **COMMUNITY CONSULTATION**

There was no community consultation required in the preparation of this report.

### **CONCLUSION/COMMENT**

Using this specialist company enables the Shire to meet the deadline with a quality product that meets industry best practice. It is different to the original signs made of metal but offers a more substantial entry statement to the town in a form that meets Main Roads requirements as well as providing lighting and an anti-graffiti finish. This option also provides a professional service with capacity to manage design changes and provide assistance with ongoing maintenance and repairs

### **ATTACHMENTS**

Attachment 1 – Design Options  
Attachment 2 – Site Maps

## **VOTING REQUIREMENT**

Simple Majority

## **OFFICER'S RECOMMENDATION**

That Council approve the purchase of design 1F including solar lighting, anti-graffiti finish for both sites, known as west lay-by and northern lay-by, and that both signs will be paid for within the 2010/2011 year using the budget set aside for the project.

### **COUNCIL DECISION**

**Minute No. 9474**

**Moved: Cr D Ausburn  
Seconded: Cr K Wright**

**That Council suspend Standing Order 7.5 to allow Councillors to speak more than once on the matter.**

**Carried Unanimously 8/1  
For: Cr F Mills, Cr D Ausburn, Cr J McCoy, Cr S Dessert, Cr R Addis,  
Cr J Parker, Cr K Torres, Cr K Wright  
Against: Cr J Moulden**

### **COUNCIL DECISION**

**Minute No. 9475**

**Moved: Cr J Parker  
Seconded: Cr K Torres**

**That Council resume Standing Orders at 7:19pm.**

**Carried Unanimously 9/0**

**COUNCIL DECISION**

**Minute No. 9476**

**Moved: Cr J Moulden  
Seconded: Cr J Parker**

**That Council:**

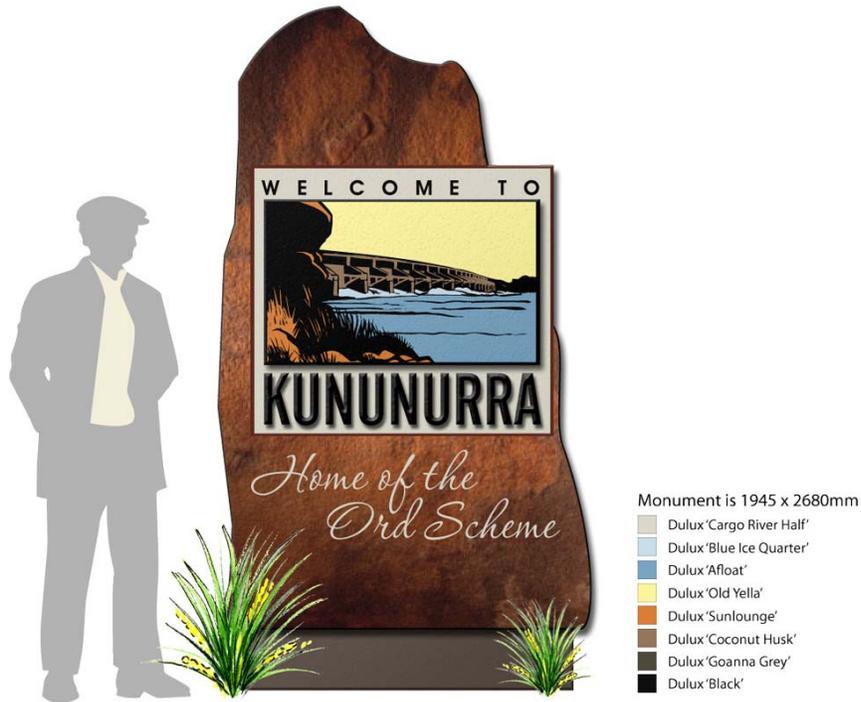
- 1. Not approve the purchase of either entry statement as presented.**
- 2. Invites submissions from the Kununurra community for the design of entry statements for the town which comply with Main Roads requirements.**
- 3. Re-applies for funding once a community inspired design has been selected and a cost estimate obtained for the manufacture and installation of two signs.**

**Carried Unanimously 9/0**

**Note: Council's decision differs from the Officer's Recommendation because Council wanted to ensure the community was consulted and encouraged to engage in the process of designing and selecting entry statements for**

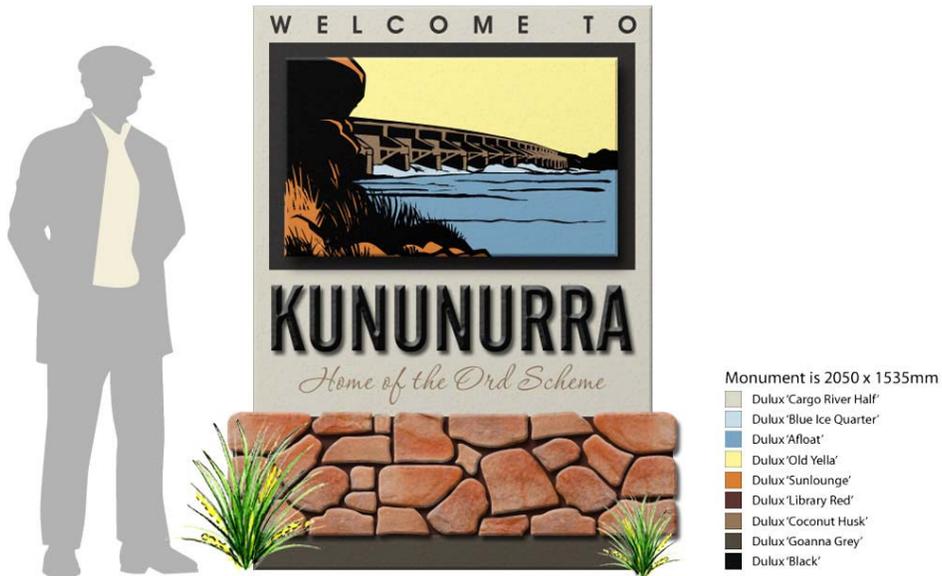
# Kununurra Attachment 1 – Design Options

## Option 1F



© 2011 Danthonia Designs

## Option 1E



© 2011 Danthonia Designs

**Attachment 2 – Site Maps**



## 15.4 Development Assessment Panels – Nomination of Members

<b>DATE:</b>	24 May 2011
<b>PROPONENT:</b>	Department of Planning
<b>LOCATION:</b>	Shire of Wyndham East Kimberley
<b>AUTHOR:</b>	Nick Kearns, Director Development Services
<b>REPORTING OFFICER:</b>	Nick Kearns, Director Development Services
<b>FILE NO:</b>	LP.01.9
<b>ASSESSMENT NO:</b>	N/A

### **PURPOSE**

For Council to nominate members for the Development Assessment Panels.

### **BACKGROUND**

Legislation has recently been put in place for the formation of Development Assessment Panels. The Panels will become operational as of the 1<sup>st</sup> July 2011 and, subject to some exclusions, such as single dwellings and smaller medium density proposals (less than 10 dwellings), will assess major proposals. Major proposals are considered to be all proposals valued over \$7 million, and subject to the applicant nominating, proposals valued over \$3 million.

In line with the *Planning and Development (Development Assessment Panels) Regulations 2011*, the Development Assessment Panel is to be comprised of three specialist members and two local government members. In addition, the Department of Planning has asked for the nomination of two alternative local government members – in case the (principally) nominated representatives are unavailable.

All members, as well as key local government staff, will be required to complete training prior to the Panel becoming operational.

A copy of the request from the Department of Planning is provided at Attachment 1.

### **STRATEGIC IMPLICATIONS**

There are no strategic implications related to this item.

### **STATUTORY IMPLICATIONS**

The formation of the Development Assessment Panels is enabled in Part 11A of the *Planning and Development Act 2005*, and administered under the *Planning and Development (Development Assessment Panels) Regulations 2011*.

### **POLICY IMPLICATIONS**

There are no policy implications associated with this matter.

## **FINANCIAL IMPLICATIONS**

There are no direct financial implications associated with this matter, although it is acknowledged that fees have not been finalised and are therefore unable to be entered into the Shire's Fees and Charges at this time.

## **COMMUNITY CONSULTATION**

No community consultation was required for the purpose of considering this matter.

## **COMMENT**

It is recommended that Council nominate two members and two alternate members for the Development Assessment Panel.

## **ATTACHMENTS**

Attachment 1 – Request from the Department of Planning for nominations to Development Assessment Panels

## **VOTING REQUIREMENT**

Simple Majority

## **OFFICER'S RECOMMENDATION**

That Council:

1. Nominates Cr \_\_\_\_\_ and Cr \_\_\_\_\_ as its members to the Development Assessment Panels.
2. Nominates Cr \_\_\_\_\_ and Cr \_\_\_\_\_ as its alternate members to the Development Assessment Panels.

**COUNCIL DECISION**

**Minute No. 9477**

**Moved: Cr J Moulden  
Seconded: Cr J Parker**

**That Council adjourn the meeting to allow the preparation of voting slips at 7:28pm.**

**Carried Unanimously 9/0**

**COUNCIL DECISION**

**Minute No. 9478**

**Moved: Cr K Torres  
Seconded: Cr S Dessert**

**That Council:**

**Nominates Cr J Moulden and Cr K Wright as its members to the Development Assessment Panels.**

**Nominates Cr J Parker and Cr K Torres as its alternate members to the Development Assessment Panels.**

**Carried Unanimously 9/0**

## Attachment 1 - Request from the Department of Planning for nominations to Development Assessment Panels



Government of **Western Australia**  
Department of **Planning**

1-6654

Your ref:  
Our ref: DP/09/00036V5  
Enquiries: Alice Brown (08) 9264 7698

Mr Gary Gaffney  
Chief Executive Officer  
Shire of Wyndham-East Kimberley  
PO Box 614  
KUNUNURRA WA 6743

Dear Mr Gaffney

### **DEVELOPMENT ASSESSMENT PANELS: UPDATE ON IMPLEMENTATION**

As you are aware, fifteen new Development Assessment Panels ('DAPs') are scheduled to commence operation from 1 July 2011. The purpose of this letter is to provide an informal update as to the status and implementation of DAPs. The Department of Planning (the 'Department') also seeks to clarify some issues surrounding the introduction of new DAP fees, and in particular, WALGA's concerns that DAPs may result in cost-shifts to local government.

In addition, please note that the Department is preparing a series of information sessions. Invitations will be sent out once the arrangements have been confirmed.

### ***Current forecasts for DAP implementation***

The Department, in conjunction with the Parliamentary Counsel's Office and stakeholder Working Groups, is in the final stages of preparing the new *Planning and Development (Development Assessment Panels) Regulations 2011* (the 'DAP regulations'). On 10 February 2011, the Working Group endorsed the proposed DAP regulations, subject to a few additional and minor changes.

In March 2011, the DAP regulations and preliminary legislative instruments required to implement DAPs, will become operational. On 2 May 2011, the Minister, by publication of an Order in the Gazette, will formally establish the fifteen DAPs in Western Australia. Local governments will then be invited by the Minister to nominate two DAP members and two alternate DAP members. Training of priority local government DAP members will commence in June 2011, with a training allowance of \$400 (+ 9% super) being paid to each member upon completion.

The Department is also concurrently working on a range of resources to assist with the implementation of DAPs. This includes procedural manuals for a Secretariat, DAP members and local governments. In particular, the Local Government Procedure Manual has been prepared with the assistance of the Local Government Working Group, comprising a number of planning managers from six metropolitan local governments.

Albert Facey House, 469 Wellington Street, Perth, Western Australia 6000  
Tel: (08) 9264 7777 Fax: (08) 9264 7566 [www.planning.wa.gov.au](http://www.planning.wa.gov.au) ABN 79 051 750 680  
wa.gov.au

The Department is also preparing planning bulletins, Question & Answer papers and guidance notes. These documents will be placed on the new DAPs website once finalised, and this is expected to be in April 2011.

Finally, the Department is in the process of establishing a new Secretariat within existing mechanisms, which will assist in the day-to-day administration of DAPs. The Secretariat will carry out most administrative tasks, including the coordination of DAP meetings, preparation of meeting documents, preparation of decision letters, drafting of annual reports, and assistance in training members.

#### ***Local government's continued role in assisting DAPs***

Although DAP decisions will be made by DAP members, rather than by the relevant responsible authority (local government and/or WAPC), local governments will continue to play an important and key role in all DAP applications. In particular, local governments will:

- receive applications (both the 'Form 1' under the relevant local planning scheme and the new DAP application) and fees (both the existing fee under the *Planning and Development Regulations 2009* ('PDR') and the new DAP fee);
- remit the DAP application and DAP fee to the Secretariat;
- prepare a planner's report, which will include an assessment of the proposal in accordance with the LPS framework and provide a recommendation;
- transmit the planner's report, together with any public submissions received, to the Secretariat; and
- assist in hosting DAP meetings by arranging:
  - a minute-taker;
  - catering for light refreshments; and
  - security (where necessary),to be reimbursed by the Secretariat to the local government upon receipt of an invoice.

#### ***DAPs fee model***

The DAP framework will introduce new DAP fees, to ensure DAPs operate on a sound and transparent cost-recovery model without imposing additional financial burdens on local governments or the Department. These fees have been determined in accordance with the Guidelines on Costing and Pricing Government Services issued by the Department of Treasury and Finance.

In particular, the new DAP regulations contain:

- Schedule 1 – fees for applications, ranging from \$3,376 (for proposed developments estimated between \$3 million and \$7 million) to \$6,320 (for proposed developments estimated over \$20 million); and
- Schedule 2 – fees for DAP members, usually \$500 (+ 9% super) for presiding members and \$400 (+ 9% super) for other members.

The new DAP fees will not replace the 'Form 1' fees collected under the *Planning and Development Regulations 2009* ('PDR') and paid to local governments. Regulation 10 (3) of the DAP regulations states:

*"The fee payable under subregulation (1) is payable in addition to any fees, costs and expenses that are imposed by a local government in accordance with the Planning and Development Regulations 2009 in relation to the development application."*

Therefore, in most cases a DAP applicant will be required to pay two fees:

- The DAP fee under Schedule 1 of the DAP regulations, collected by local government but remitted to the Secretariat, to cover the administrative costs of the DAPs; and
- The 'Form 1' fee under PDR, collected and retained by local government, to cover the ongoing administrative costs of local governments in assisting DAPs, such as preparing an assessment and recommendation report.

In order to allow local governments to continue charging fees under the PDR for assessing applications, even though they will no longer be the decision-making authority, minor amendments to the PDR have been prepared. Finally, the DAP regulations require the DAP fees be reviewed annually.

#### ***How the DAP fees were calculated***

The proposed DAP application fees were calculated to cover the total DAP costs, which are in turn calculated by a combination of the cost of three inputs, namely:

1. Total DAP meeting costs;
2. Total travel & accommodation costs; and
3. Total other direct costs.

The total meeting costs are calculated to cover such expenses as:

- The number of DAP meetings forecasted per annum based on ABS data – 127 meetings;
- Estimated sitting fees – \$500 (+ 9% super) for presiding members and \$400 (+ 9% super) for other members; and
- Local government hosting costs – \$28/hr for a minute-taker, \$100 per local government for catering and \$150 for Security for contentious meetings.

The total travel & accommodation costs were calculated to cover such expenses as:

- DAP specialist members travelling to regional centres to attend meetings – airfares, accommodation, taxis and meals; and
- Mileage allowance for DAP members to attend meetings – calculated in accordance with the Public Sector Commission's circular of 75 cents per kilometre.

The total other direct costs were calculated to cover such expenses as:

- Secretariat support cost;
- Advertising costs;

- Training costs – payments of \$400 (+ 9% super) for all DAP members (including local government members) who complete DAP training; and
- Local government transmittal fee – \$50 paid to local governments per DAP application, for the costs associated with local governments collecting and remitting the DAP fee to the DAP Secretariat.

***Clarification of WALGA's concerns of a cost-shift to local governments***

The Department understands that WALGA has written to all local governments in Western Australia, raising concerns that DAPs may result in a purported cost-shift to local government. The Department reiterates that the DAP framework is intended to run on a 100 percent cost recovery model and there are no anticipated cost-shifts to local government. In relation to each of the stated cost items raised by WALGA, the Department offers the following clarification:

*Recording during the meeting and preparing formal minutes - \$84 (\$28 @ 3 hrs)*

WALGA requests the DAP fees include the reimbursement of local government for a minute-taker at \$28 p/hr for 3 hours. The Department supports the amount claimed.

The proposed DAP fees incorporate the payment of a minute-take at \$28 for a maximum of 4 hours. Payment will be made upon receipt of an invoice.

*Director of Planning attendance and Planning Manager/Report Author - \$118 + \$90*

WALGA requests the DAP fees include the reimbursement of local government for a Director of Planning at \$118 and a Planning Manager/Report Author at \$90 to assess and attend a DAP application. The Department does not support the amount claimed for the reasons below.

Firstly, the DAP regulations make it optional as to whether a local government planner attends a DAP meeting to address his or her report. For example, in many matters currently before the WAPC, the responsible departmental officer often does not attend the meeting. Also, as most DAP meetings will commence in the late afternoon and during ordinary business hours, the attendance of local government employees is not anticipated to result in additional costs, such as overtime, for local governments.

Secondly, local governments will continue to collect the 'Form 1' local government fee under the PDR, in addition to the new DAP fee. The necessary work carried out by local government employees in assessing or presenting a development application, including the Director of Planning or Planning Manager/Report Author, will continue to be covered by this fee collected and paid to local government under the PDR.

By way of example, for a DAP application with an estimated cost of \$15 million, the DAP fee paid will be \$5,596. However, a local government will in addition continue to collect and retain the much higher fee of \$24,800.

Therefore, the costs ordinarily incurred by local government employees in assessing and presenting a development application will be adequately recovered by the 'Form 1' PDR fee, which local governments will continue to collect and retain. The additional fee in the DAP regulations is designed to recover the costs associated with operating DAPs, further avoiding any increase of costs to local governments.

*Room and security - \$150 for 3 hours (\$50 @ 3 hours)*

WALGA requests the DAP fees include the reimbursement of local government for room and security at \$150, being for 3 hours. The Department partially supports and partially increases the amount claimed.

Given DAP meetings will be open to the public, the Department believes it is in local government's interest for DAP meetings be held on its premises for the benefit of its constituents. The Department believes this is in accordance with community expectations. The alternative is for all DAP meetings to be held centrally at the Department's central Perth office or a regional office, which is likely to cause inconvenience to local government DAP members and members of the public.

To this end, the DAP fee model includes an expanded maximum amount of \$200 for room and security, being \$50 for 4 hours. Payment will be made upon receipt of an invoice. This is to be applied only at DAP meetings where the DAP presiding member deems the matter contentious.

The Department believes this figure is reasonable, particularly given the following:

- Most DAP applications are scheduled to occur during ordinary business hours;
- The Department has been advised that, in any event, some local governments do not currently provide any or only limited security as required;
- The Department has also been advised that, of those local governments that do provide security, this is often provided on an annual corporate-service basis and not on an as-needed basis; and
- The number of applications that are likely to be sufficiently contentious to require additional security is very small.

*Catering - \$300*

WALGA requests the DAP fees include reimbursement of local government for the catering costs in the sum of \$300 per meeting. The Department partially supports the amount claimed.

The DAP fee model includes an amount of \$100 per local government in attendance. Thus, where a joint DAP application requires local government DAP members from two local governments to attend, the amount will be adjusted to \$200. Payment will also be made upon receipt of an invoice for this service.

Given meetings are expected to begin in the late afternoon, it is intended that only light refreshments will be provided, not a substantial meal. The Department has also been advised that some local governments provide no catering at meetings. Therefore, the Department believes \$100 is reasonable.

*Stationary and sundry - \$100*

WALGA requests the DAP fees include the reimbursement of local government for stationary and sundry expenses in the sum of \$100. The Department does not support this claim.

The Secretariat will provide all necessary stationary and sundry to DAP members, and incur the costs in doing so.

*Agenda preparation and panel coordination - \$28*

WALGA requests the DAP fees include the reimbursement of local government for agenda preparation and panel coordination at \$28. The Department does not support this claim.

The Secretariat will carry out all agenda preparation and panel coordination, and incur the costs in doing so.

*Transaction fee*

Finally, WALGA requests the DAP fees include the reimbursement of local government for expenses associated with collecting and forwarding fees to the Secretariat. The Department supports this claim.

The DAP fee model includes \$50 paid to local governments per DAP application. A flat fee of \$50 per application was deemed to be fairer and easier to administer than a sliding scale or other methodology.

**Conclusion**

In conclusion, the Department believes the proposed DAP application fees strike the appropriate balance between ensuring there are no cost-shifts to local governments, whilst also protecting applicants from unreasonable expenses unnecessary for the proper administration of the DAP framework. Further, the DAP fees will be reviewed annually, and any necessary adjustments can be made at that time.

Should you have any further questions please do not hesitate to contact Robyn Barrow, Director-Special Projects, Office of the Director General, on (08) 9264 7683.

Yours sincerely



Eric Lumsden PSM  
*Director General*

16/02/2011

## 15.5 Dual Name Signage – White Gum Park

<b>DATE:</b>	24 May 2011
<b>PROPONENT:</b>	Shire of Wyndham East Kimberley
<b>LOCATION:</b>	Shire of Wyndham East Kimberley
<b>AUTHOR:</b>	Fiona Kuiper, Executive Assistant
<b>REPORTING OFFICER:</b>	Fiona Kuiper, Executive Assistant
<b>FILE NO:</b>	PR.07.1

### **PURPOSE**

For Council to consider installing dual language signage for White Gum Park to incorporate the Miriwoong word for White Gum – Warlarring.

### **BACKGROUND**

Two requests (attached) have been received regarding renaming White Gum Park to provide representation of Indigenous heritage. The request from the Miriwoong Language Centre suggests the use of the Miriwoong Language word for White Gum which is Warlarring.

New signage was not included in the original scope of the redevelopment however Officers are also considering the need to incorporate 'do not litter' and 'no alcohol' messages on the main sign for the park.

### **STRATEGIC IMPLICATIONS**

Dual signage provides appropriate cultural recognition of the Shire's Indigenous heritage.

### **STATUTORY IMPLICATIONS**

Nil

### **POLICY IMPLICATIONS**

Nil

### **FINANCIAL IMPLICATIONS**

New signage was not included in the budget for the redevelopment. The estimated cost of the new sign for White Gum Park is \$2500.

### **COMMUNITY CONSULTATION**

No community consultation has been undertaken in the preparation of this report.

### **CONCLUSION/COMMENT**

Dual language signage is currently installed at the Interpretive Platform in Celebrity Tree Park and dual language Do Not Litter Signage is currently installed at Celebrity Tree Park, Swim Beach, Ivanhoe Crossing and Lions Park. The dual language Do Not Litter Signage will be returned to White Gum Park on completion of the redevelopment.

Further interpretive signage is being developed for Celebrity Tree Park via a Lotteries grant for the traditional uses of local plants.

Including the name White Gum Park and Warlarring Park on the park signage provides the opportunity to retain the historical name of the park while providing appropriate cultural recognition of Indigenous heritage.

### **ATTACHMENTS**

Attachment 1 – Letter from Miriwoong Language Centre  
Attachment 2 – Email from Carol Martin's Office

### **VOTING REQUIREMENT**

Simple Majority

### **OFFICER RECOMMENDATION**

That Council approve the installation of a dual language sign at White Gum Park to incorporate the Miriwoong word for White Gum, Warlarring, in recognition of Indigenous heritage.

**COUNCIL DECISION**

**Minute No. 9479**

**Moved: Cr K Wright  
Seconded: Cr S Dessert**

**That the motion be amended to include the addition of a dot point that reads:**

**2. That secondary naming for the dual name be displayed in a lesser font to the main name.**

**Lost 2/7**

**For: Cr K Wright, Cr S Dessert**

**Against: Cr F Mills, Cr D Ausburn, Cr J McCoy, Cr R Addis, Cr J Parker, Cr J Moulden and Cr K Torres**

**COUNCIL DECISION**

**Minute No. 9480**

**Moved: Cr K Torres  
Seconded: Cr R Addis**

**That Council approve the installation of a dual language sign at White Gum Park to incorporate the Miriwoong word for White Gum, Warlarring, in recognition of Indigenous heritage.**

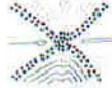
**Carried 6/3**

**For: Cr D Ausburn, Cr J McCoy, Cr R Addis, Cr J Parker, Cr J Moulden and Cr K Torres**

**Against: Cr F Mills, Cr S Dessert and Cr K Wright**

**Attachment 1 – Letter from Miriwoong Language Centre**

*Mirima Dawang Woorlab-gerring*



Language and Culture Centre

P.O. Box 2420  
Kununurra WA 6743

To the councillors of  
Shire of Wyndham-East Kimberley

Kununurra, 10.03.2011

RE: Naming of Whitegum Park

Dear Councillors

In the light of recent development of Whitegum Park in Kununurra we have been approached by a member of the public to put forward a name change to the new facility, focussing on a representation of the Miriwoong language. Based on this request we had conversations with Miriwoong and Gajirawoong elders and senior speakers who suggest that any signage for the newly completed park should involve Miriwoong wording.

Our proposal for this involves a direct translation of the word "Whitegum" into Miriwoong as this reflects the actual scenery on site. The Miriwoong term for the Whitegum tree is *Warlarring* which is easy to pronounce even by non-Miriwoong speakers. We therefore suggest that the park be named

**Warlarring Park,**

or that this name be at least included in any potential signage.

This would reflect local Indigenous heritage in an appropriate way as we all aim at supporting local traditional values.

Thank you for considering this request.

Kind regards,

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*Dr Knut J. Olawsky, Senior Linguist / Manager*

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Phone: (08) 9169 1029 • Fax: (08) 9168 2639 • E-Mail: [manager@mirima.org.au](mailto:manager@mirima.org.au)

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**Attachment 2 – Email from Carol Martin’s Office**

**From:** Bell, Jaime  
**Sent:** Tuesday, 8 March 2011 9:53 AM  
**To:** 'Rebecca Morrall'  
**Subject:** White Gum Park

Hi Rebecca

Hope you are well and had an enjoyable long weekend.

I was wondering if you could assist me, we had a woman contact us wanting to change the name of White Gum Park to an indigenous name. She spoke to Carol last week and Carol told her we would find out the process of what she needs to do.

Does she need to start a petition or put something in writing to you guys?

Any assistance would be greatly appreciated.

Thanks!

Yours sincerely

Jaime Bell  
Electorate Officer for  
**Carol Martin MLA**  
**Member for Kimberley**  
**Kununurra Office Opening Hours**  
**Mon-Wed 8am-2pm - Thurs 8am-12.30pm**  
Tel: 08 9169 2644 Fax: 08 9169 2655 Freecall: 1800 654 804

**16. MATTERS BEHIND CLOSED DOORS**

Nil

**17. CLOSURE**

With all matters of business complete the Shire President declared the meeting closed at 7:55pm.